

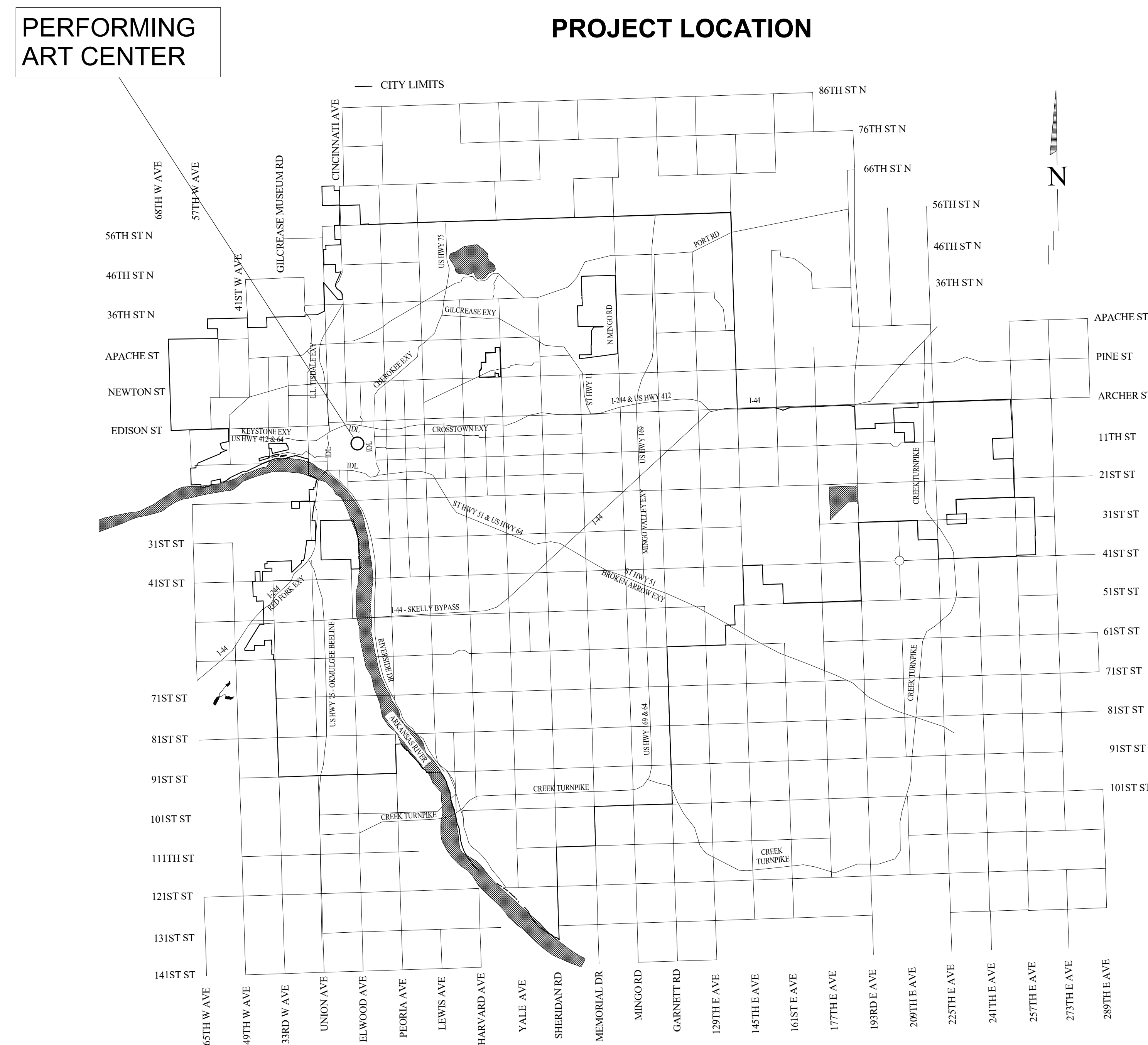
# CONSTRUCTION DOCUMENTS

03.06.2026

Project No: PR 25-14

## TPAC (TULSA PERFORMING ARTS CENTER) FINISH AND SIGNAGE (IOT1)

110 E. 2nd STREET  
TULSA, OKLAHOMA, 74103



City Engineer

Date

Director of Parks, Culture, and Recreation

Date



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PROJECT NO:  
**PR 25-14**  
BECK NO:  
**202513.2**

01.23.2026  
CONSTRUCTION DOCUMENTS  
TPAC FINISH AND SIGNAGE IMPROVEMENTS (IOT1)

PROJECT TEAM

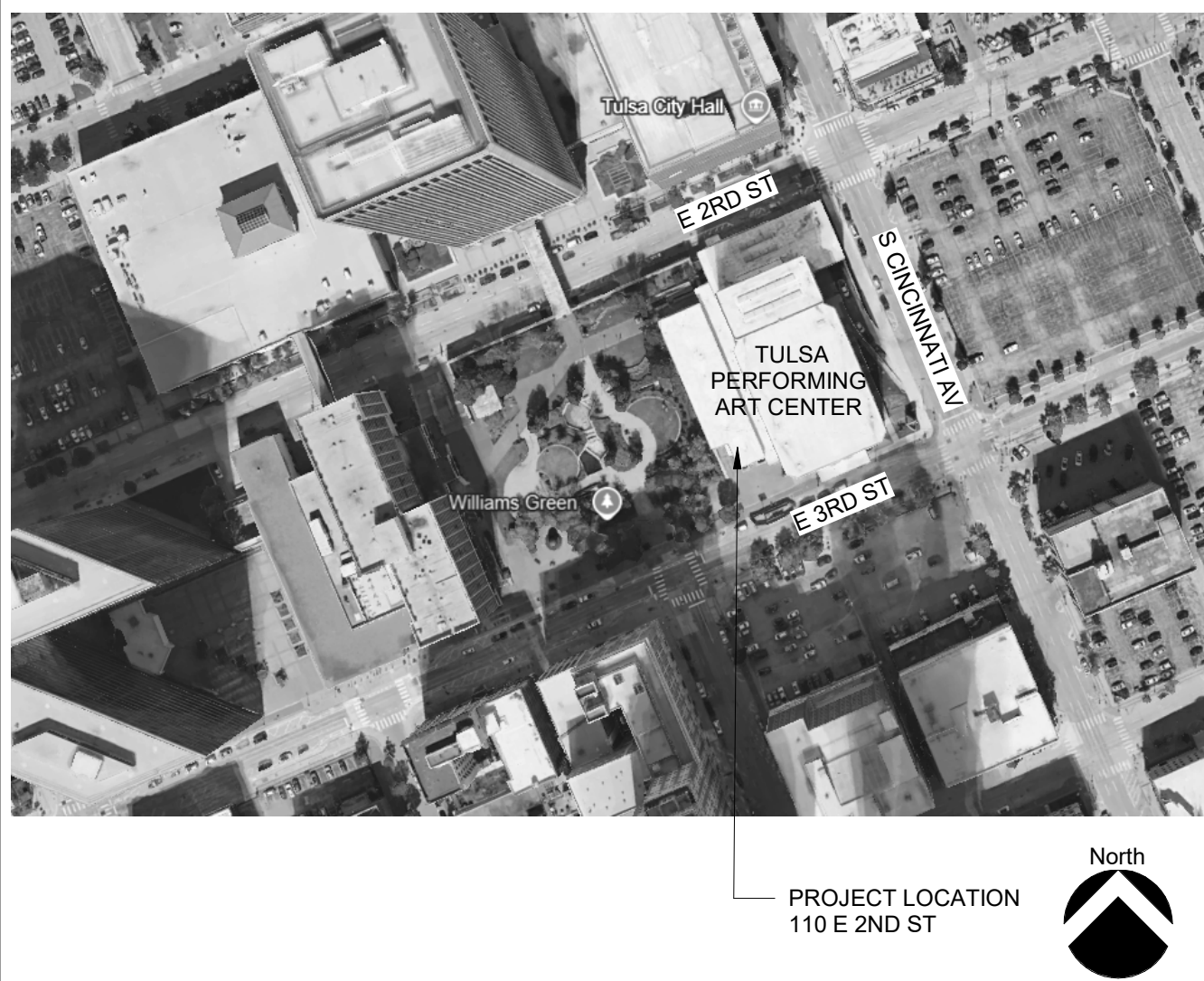
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SITE LOCATION



GENERAL NOTES

- FIELD VERIFY ALL MEASUREMENTS REQUIRED. USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH WORK.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR COORDINATING THE EXISTING CONDITIONS WITH THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS, TO CONFIRM THAT THE INTENT OF THE CONTRACT DOCUMENTS CAN BE FULFILLED. NOTIFY ARCHITECT IN WRITING OF ALL DISCREPANCIES.
- CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING ANY WORK THAT IS NOT CLEARLY DEFINED BY THE CONTRACT DOCUMENTS.
- CONTRACTORS SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OR OTHERWISE INDICATED, OR WHERE APPLICABLE CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES RULE, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON PERFORMANCE OF THE WORK. MECHANICAL, ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, LOCAL AND STATE JURISDICTIONS, ORDINANCES, AND APPLICABLE REGULATIONS.
- GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL SUPERVISE, AND DIRECT THE WORK. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTRACT AND COORDINATION WITH ALL AUTHORIZED OWNER REPRESENTATIVES.
- DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN AND PERFORMANCE. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT EXISTING CONDITIONS. SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTORS SHALL VERIFY LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO PROCEEDING WITH THE WORK TO ENSURE PROPER COORDINATION, SEQUENCING AND INSTALLATION OF NEW WORK.
- PROVIDE FIRE SEALANT TO PERIMETER OF ALL PIPING, HVAC SLEEVING OR OTHER TYPE OF THRU-WALL PENETRATION.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY UNFORESEEN CONDITIONS FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- PAINT ALL EXPOSED SURFACES, EXCEPT WHERE ITEMS ARE SCHEDULED TO REMAIN NATURAL, OR ARE OTHERWISE RESTRICTED BY LOCAL CODES, ORDINANCES, OR AUTHORITIES HAVING JURISDICTION.
- COORDINATE / VERIFY WITH ARCHITECT ALL LIGHTING MOUNTING HEIGHTS.
- CONTRACTOR SHALL PROVIDE AND INSTALL BLOCKING FOR ALL FURNITURE, FIXTURES, AND EQUIPMENT INDICATED HEREIN. FOR OWNER PROVIDED ITEMS SUCH AS AUDIO VISUAL AND INFORMATION TECHNOLOGY ITEMS, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND SHALL INSTALL PER CODE MINIMUM.
- CONTRACTOR SHALL PROVIDE ALL FIRE EXTINGUISHERS, FIRE ALARMS, FIRE DAMPERS, AND LIFE SAFETY ITEMS AS REQUIRED BY THE AHJ.

PROJECT ABBREVIATIONS

ABV ABOVE	F.E. FIRE EXTINGUISHER	P.S.F. PER SQUARE FOOT
A.F.F. ABOVE FINISH FLOOR	F.E.B. FIRE EXTINGUISHER ON BRACKET	P.S.I. PER SQUARE INCH
ACOUS AIR CONDITIONING	F.E.C. FIRE EXTINGUISHER CABINET	P. PLATE
ALT ALTERNATE	F.H.C. FIRE HOSE CABINET	PLY PLYWOOD
ALUM ALUMINUM	FLASH FLASHING	P.P. POWER POLE
A.B. ANCHOR BOLT	FLR FLOOR (ING)	P.V.C. POLYVINYL CHLORIDE
L ANGLE	F.C.D. FLOOR CLEANOUT	P.C.C. PRE-CAST CONCRETE
APPROX APPROXIMATE	F.D. FLOOR DRAIN	PFAB PREFABRICATED
AE ARCHITECT-ENGINEER	F.F.D. FLOOR DRAIN	PT PRESSURE TREATED WOOD
ARCH ARCHITECTURE (URAL)	FRT FIRE RETARDANT TREATED	PL PROPERTY LINE
A.D. AREA DRAIN	FT FOOT OR FEET	Q.T. QUARRY TILE
@ AT	FTG FOOTING	
AHJ AUTHORITY HAVING JURISDICTION	FDN FOUNDATION	
	GALV GALVANIZED	REF or RE: REFERENCE
	GA GAUGE	REN REINFORCE (D) (ING)
	G.C. GENERAL CONTRACTOR	RA RETURN AIR
BM BEAM	GLS GLASS	REV REVISION
BLW BELOW GRADE	GLS BLK GLASS BLOCK	REQD (ING) REQUIRED (ING)
B.M. BENCH MARK	GLB GLUE LAM BEAM	R.O.W. RIGHT OF WAY
BLK BLOCK	GB GRAB BAR	R RISER
BLKG BLOCKING	GRD GRADE, GRADING	RF ROOF
BD BOARD	GYP BD GYPSUM BOARD	RFG ROOFING
B.O. BOTTOM OF BEAM		RD ROOF DRAIN
B.O.D. BOTTOM OF DECK	HC HANDICAPPED	RFH ROOF HATCH
B.O.S. BOTTOM OF STRUCTURE	HDW HARDWARE	RTU ROOF TOP UNIT
BOIM BOTTOM	HDR HEADER	ROOM ROOM
BLOG BUILDING	HVAC HEATING/VENTILATION/AIR CONDITIONING	R.O. ROUGH OPENING
B.U.R. BUILT-UP ROOFING	H.D. HEAVY DUTY	SCH SCHEDULE
	HGT HEIGHT	SEC SECTION
CAB CABINET	H.C. HOLLOW CORE	SHTG SHEATHING
CRPT CARPET	H.M. or HM HOLLOW METAL	SHT SHEET
CSMT CASEMENT	HORIZ HORIZONTAL	SIM SIMILAR
CLD CEILING	H.B. HOSE BIBB (FROST-PROOF)	SL SLAB
CTR CENTER	HR HOUR	SC SOLID CORE
CL CENTER LINE		S SOUTH
CEM CEMENT		SPECS SPECIFICATIONS
CLR CLEAR	INCL INCLUDE	SO SQUARE
CLO CLOSET	INFO INFORMATION	SS STAINLESS STEEL
C.O. CLEAN OUT	ID. INSIDE DIAMETER	STD STANDARD
CFMF COLD FORMED METAL FRAMING	INSUL INSULATE, INSULATION	STL STEEL
	INT INSTALLATION	STOR STORAGE
COL COLUMN		SD STORM DRAIN
COMB COMBINATION	JST JOIST	STRUC STRUCTURAL
CONC CONCRETE	JOINT JOINT	SUSP SUSPENDED
CMU CONCRETE MASONRY UNIT		S.C. SUBCONTRACTOR
COND CONDENSATE	NO KNOCKOUT	SA SUPPLY AIR
CONN CONNECTION	KP KICKPLATE	SYS SYSTEM
CONST CONSTRUCTION		TEL TELEPHONE
CONT CONTINUOUS (ATION)	L.B. LAG BOLT	TEMP TEMPORARY
C.F.C.I. CONTRACTOR FURNISHED, OWNER INSTALLED	LAM LAMINATE	THK THICK
	LT LIGHT	T & G TONGUE AND GROOVE
C.F.O.I. CONTRACTOR FURNISHED, OWNER INSTALLED	LWC LIGHTWEIGHT CONCRETE	T.O.B. TOP OF BEAM
C.J. CONTROL JOINT	LVR LOUVER	T.O.C. TOP OF CURB
CORR CORRUGATED	LVT LUXURY VINYL TILE	T.O.L. TOP OF LEDGER
CF CUBIC FOOT		T.O.P. TOP OF PARAPET
CYD CUBIC YARD	MGMT MANAGEMENT	T.O.P.V. TOP OF PAVEMENT
	MFG MANUFACTURER	T.O.P.L. TOP OF PLATE
DEMO DEMOLITION	MAS MASONRY	T.O.S.L. TOP OF SLAB
DEPT DEPARTMENT	M.O. MASONRY OPENING	T.O.S. TOP OF STEEL
DTL DETAIL	MAT MATERIAL	T.O.T. TOP OF TRUSS
DIAG DIAGONAL	MH MANHOLE	T.O.W. TOP OF WALL
DIA DIAMETER	MAX MAXIMUM	TREAD TREAD
DIM DIMENSION	MECH MECHANICAL	TYP TYPICAL
DISP DISPENSER	M.E.L. MECHANICAL, ELECTRICAL, PLUMBING	
DR DOOR	MEMB MEMBER	U.G. UNDERGROUND
DBL DOUBLE	MTL MEMBRANE	UNF UNFINISHED
DN DOWN	MTL METAL	UNO UNLESS NOTED OTHERWISE
D.S. DOWNSPOUT	MTR METER	UR URINAL
DWR DRAWER	MIN MINIMUM	U UTILITIES
DWG DRAWING	MIR MIRROR	
D DRAIN	MISC MISCELLANEOUS	V.B. VAPOR BARRIER
		V.I.F. VERIFY IN FIELD
E EAST	(N) NEW	VERT VERTICAL
EA EACH	NSF NET SQUARE FEET	VEST VESTIBULE
EIFS EXTERIOR INSULATION AND FINISH SYSTEM	NOM NOMINAL	
	N NORTH	WB WALL BASE
EL ELEVATION	N.I.C. NOT IN CONTRACT	W.H. WALL HUNG
ELEC ELECTRIC (AL)	ELEVATOR	W TO W WALL TO WALL
ELEV ELEVATOR	NOT TO SCALE	W/C WATER CLOSET
ENCL ENCLOSE (URE)	NO. NUMBER	W/H WATER HEATER
E.N. END NAILING		WP WATERPROOF
ENG ENGINEER (ING)	O.C. ON CENTER	W.R. WATER RESISTANT
EQ EQUAL	O.T.S. OPEN TO STRUCTURE	WT WEIGHT
EQUIP EQUIPMENT	OPNG OPENING	W WEST
EXH EXHAUST	OPH OPPOSITE HAND	WDW WINDOW
(E) EXISTING	O.D. OUTSIDE DIAMETER	W WITH
E.J. EXPANSION JOINT	OVD OVERHEAD	WIN WITHIN
EXT EXTERIOR	OVH OVERHANG	W/O WITHOUT
	O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED	WD WOOD
	O.F.O.I. OWNER FURNISHED, OWNER INSTALLED	WD WROUGHT IRON
F.O.C. FACE OF CONCRETE (CURB)		
F.O.F. FACE OF FINISH	PR PAIR	
F.O.M. FACE OF MASONRY	PKG PARKING	
F.O.S. FACE OF STUD	P PENNY	
FIN FINISH	P.C.F. PER CUBIC FOOT	
F.G. FINISH GRADE	P.L.F. PER LINEAL FOOT	
F.F. FINISH FLOOR		
F.F.E. FINISH FLOOR ELEVATION		
F.A. FIRE ALARM		

MATERIALS LEGEND

	EARTH		GYP. BD.		MILLED WOOD		PLASTER ON METAL LATH
	BRICK		RIGID INSULATION		ROUGH WOOD		STEEL
	C.M.U.		BLANKET INSULATION		GLASS		GRAVEL
	CONCRETE		PLYWOOD		EIFS		CEMENT, GROUT, OR SAND

REFERENCE SYMBOLS

	1/2"		INTERIOR ELEVATION
	REVISION BUBBLE		EXTERIOR ELEVATION
	ROOM NAME		BUILDING SECTION
	ROOM TAG		WALL SECTION
	COLUMN GRID AND BUBBLE		DETAIL
	DOOR TAG		ELEVATION MARK
	PARTITION TYPE		NORTH ARROW
	BREAK LINE		VIEW TITLE
	CEILING TAG		SCALE
	BACK REF.		DRAWING TITLE

DRAWING INDEX

04-ARCHITECTURAL	
1-F&S-G	DRAWING INDEX, ABBREVIATIONS, SYMBOLS, LOCATION MAP
2-F&S-H	CODE REVIEW MATRIX
3-F&S-G	ACCESSIBILITY REQUIREMENTS AND TYPICAL MOUNTING LOCATIONS
ARCHITECTURAL	
4-F&S-A	PARTIAL FINISH/SIGNAGE PLAN - SMALL THEATER LEVEL, ROOM FINISH SCHEDULE AND LEGEND
5-F&S-A	PARTIAL FINISH/SIGNAGE PLAN - 2ND STREET LEVEL
6-F&S-A	PARTIAL FINISH/SIGNAGE PLANS - 3RD STREET AND GALLERY LEVELS
7-F&S-A	PARTIAL FINISH/SIGNAGE PLAN - MAIN ORCHESTRA HALL LEVEL
8-F&S-A	PARTIAL FINISH/SIGNAGE PLANS - MEZZANINE AND BALCONY LEVELS
9-F&S-A	ENLARGED STAIR PLANS AND STAIR SECTION
10-F&S-B	INTERIOR ELEVATIONS
11-F&S-D	SIGNAGE LEGEND AND SIGNAGE DESIGN
12-F&S-E	SIGNAGE DESIGN

PRELIMINARY PROJECT MANUAL OUTLINE  
202513 FINISH AND SIGNAGE PR25-14 TPAC IMPROVEMENTS IOT1  
(DRAWING SHEET SPECIFICATIONS)

**PROCUREMENT AND CONTRACTING REQUIREMENTS**  
DIVISION 01 - PROCUREMENT AND CONTRACTING REQUIREMENTS  
CITY OF TULSA DOCUMENTS  
DIVISION 00 DOCUMENTS ISSUED SEPARATELY BY CITY OF TULSA  
**DIVISION 01 - GENERAL REQUIREMENTS**  
CITY OF TULSA DOCUMENTS  
ALL OTHER DIVISION 01 DOCUMENTS NOT INCLUDED IN THIS SPECIFICATION ARE ISSUED SEPARATELY BY CITY OF TULSA  
**DIVISION 01 - GENERAL REQUIREMENTS**  
01 10 00 - SUMMARY  
CONTRACTOR USE OF SITE AND PREMISES, CONTRACTOR DOCUMENTATION OF EXISTING CONDITIONS, DAMAGE DURING CONSTRUCTION  
01 25 00 - SUBSTITUTION PROCEDURES  
PROCEDURAL REQUIREMENTS FOR PROPOSED SUBSTITUTIONS, DETERMINATION OF EQUIVALENCY  
01 30 00 - ADMINISTRATIVE REQUIREMENTS  
GENERAL ADMINISTRATIVE REQUIREMENTS, MEETINGS, PROGRESS PHOTOGRAPHS, REQUESTS FOR INTERPRETATION, SUBMITTAL PROCEDURES  
01 31 00 - PROJECT MANAGEMENT AND COORDINATION  
CONTRACTOR PROJECT MANAGEMENT AND SUPERVISION, CONTRACTOR QUALITY CONTROL (CQC), PROJECT COORDINATION  
01 32 16 - CONSTRUCTION PROGRESS SCHEDULE  
REQUIREMENTS FOR PROGRESS SCHEDULE, BAR CHART TYPE FOR OVERALL PROJECT AND BY PHASE  
01 35 16 - ALTERATION PROJECT PROCEDURES  
PRODUCTS AND INSTALLATION FOR PATCHING AND EXTENDING WORK, TRANSITIONS AND ADJUSTMENTS  
01 40 00 - QUALITY REQUIREMENTS  
QUALITY ASSURANCE REQUIREMENTS, CONTRACTOR QUALITY CONTROL (CQC), CONTROL OF INSTALLATION, TESTING AND INSPECTIONS  
01 50 00 - TEMPORARY FACILITIES AND CONTROLS  
PROJECT CONDITIONS, PROTECTION OF EXISTING FACILITIES, CONTRACTOR DOCUMENTATION OF EXISTING CONDITIONS, TEMPORARY UTILITIES, TELECOMMUNICATIONS, SANITARY FACILITIES, BARRIER ENCLOSURES, WASTE REMOVAL  
01 60 00 - PRODUCT REQUIREMENTS  
GENERAL PRODUCT REQUIREMENTS, TRANSPORTATION, HANDLING, STORAGE AND PROTECTION, TEMPORARY PROTECTIVE COVERINGS  
01 70 00 - EXECUTION REQUIREMENTS  
EXAMINATION, PREPARATION AND GENERAL INSTALLATION PROCEDURES, CLEANING AND PROTECTION  
01 73 29 - CUTTING AND PATCHING  
REQUIREMENTS AND LIMITATIONS FOR CUTTING AND PATCHING OF WORK  
01 77 00 - CLOSEOUT PROCEDURES  
CLOSEOUT DOCUMENTS, SUBSTANTIAL COMPLETION/FINAL COMPLETION CLOSEOUT PROCEDURES, SUBSTANTIAL/FINAL COMPLETION CLEANING  
01 78 00 - CLOSEOUT SUBMITTALS  
PROJECT RECORD DOCUMENTS, WARRANTIES  
**DIVISION 02 - EXISTING CONDITIONS**  
02 41 19 - SELECTIVE DEMOLITION  
PROCEDURES FOR DEMOLITION AND REMOVAL OF DESIGNATED EXISTING BUILDING ELEMENTS, DISPOSAL OF MATERIALS  
**DIVISION 07 - THERMAL AND MOISTURE PROTECTION**  
07 90 00 - JOINT SEALERS  
JOINT SEALANT AT LOCATIONS INDICATED ON DRAWINGS, COLOR TO MATCH ADJACENT SURFACES

**DIVISION 09 - FINISHES**  
09 05 61 - COMMON WORK RESULTS FOR FLOORING PREPARATION  
GENERAL FIELD CONDITIONS, CONCRETE SLAB PREPARATION, REMOVAL OF EXISTING FLOOR COVERINGS, CLEANING  
09 30 00 - TILING  
REMOVE EXISTING CERAMIC TILE FOR MODIFICATIONS OF TOILET COMPARTMENTS FOR ADA REQUIREMENTS, REPLACE WITH NEW CERAMIC TILE MATCHING EXISTING  
09 68 00 - CARPETING AND BASE  
REMOVE EXISTING FLOORING AND REPLACE WITH NEW SHEET CARPETING AND TILE CARPETING, METAL FLOORING TRANSITION STRIPS, BASE  
09 91 00 - PAINTING  
PAINTING AND TOUCH-UP PAINTING MATERIALS, PREPARATION AND APPLICATION  
**DIVISION 10 - SPECIALTIES**  
10 14 00 - SIGNAGE  
NEW SIGNAGE TYPES, MATERIALS AND APPLICATIONS  
**END OF OUTLINE**



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**TPAC FINISH AND SIGNAGE IMPROVEMENTS IOT1**



CONSULTANT:

ISSUE / REVISION:

No	Description	Date

SEAL:

**CONSTRUCTION DOCUMENTS**

ISSUE DATE:  
**03.09.2026**

SHEET NUMBER:

**1-F&S-G**

DRAWING INDEX, ABBREVIATIONS, SYMBOLS, LOCATION MAP

<b>AUTHORITY HAVING JURISDICTION</b>
CITY OF TULSA, OKLAHOMA
<b>ADOPTED CODES</b>
INTERNATIONAL EXISTING BUILDING CODE®, 2018 EDITION INTERNATIONAL BUILDING CODE®, 2018 EDITION INTERNATIONAL EXISTING BUILDING CODE®, 2018 EDITION INTERNATIONAL FIRE CODE®, 2018 EDITION INTERNATIONAL ENERGY CONSERVATION CODE®, 2006 EDITION INTERNATIONAL FUEL GAS CODE®, 2018 EDITION INTERNATIONAL MECHANICAL CODE®, 2018 EDITION INTERNATIONAL PLUMBING CODE®, 2018 EDITION NATIONAL ELECTRIC CODE®, 2017 EDITION 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, ICC A117.1, 2009 EDITION, AMERICAN NATIONAL STANDARDS INSTITUTE®

<b>SUMMARY</b>
THIS PROJECT INCLUDES ALTERATIONS TO THE RESTROOMS AND TICKET OFFICE TO IMPROVE ACCESSIBILITY. IT INCLUDES REPAIRS TO EXISTING CONSTRUCTION AND FINISHES RESULTING FROM THE ALTERATIONS. THERE ARE NO ALTERATIONS TO LAYOUT OF THE FLOOR PLANS, LIFE SAFETY, MEANS OF EGRESS OR FIRE PROTECTION. NO CHANGE OF OCCUPANCY GROUPS NO CHANGE OF OCCUPANCY NO CHANGE OF HEIGHT NO CHANGE OF STORIES NO CHANGE OF AREA NO CHANGE TO CONSTRUCTION TYPE IEBC - ALTERATIONS - LEVEL 1

<b>IEBC CODE STUDY</b>	
<b>IEBC CHAPTER 2 - DEFINITIONS</b>	
<b>202 GENERAL DEFINITIONS</b>	ALTERATION: ANY CONSTRUCTION OR RENOVATION TO AN EXISTING STRUCTURE OTHER THAN A REPAIR OR ADDITION.
<b>IEBC CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS</b>	
<b>301 ADMINISTRATION</b>	
301.3 ALTERATION, ADDITION OR CHANGE OF OCCUPANCY	
301.3.2 WORK AREA COMPLIANCE METHOD	ALTERATIONS - LEVEL 1 - IEBC, CHAPTER 7
301.5 COMPLIANCE WITH ACCESSIBILITY	2009 ICC A117.1
<b>302 GENERAL PROVISIONS</b>	
302.6 OCCUPANCY AND USE	IBC 2018, CHAPTER 3
<b>305 ACCESSIBILITY FOR EXISTING BUILDINGS</b>	
305.6 ALTERATIONS	IBC 2018, CHAPTER 11, UNLESS TECHNICALLY INFEASIBLE

<b>CHAPTER 6 - CLASSIFICATION OF WORK</b>	
<b>602 ALTERATION—LEVEL 1</b>	APPLICABLE: LEVEL 1 ALTERATIONS INCLUDE THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES THAT SERVE THE SAME PURPOSE.

<b>CHAPTER 7 - ALTERATIONS - LEVEL 1</b>	
<b>702 BUILDING ELEMENTS AND MATERIALS</b>	
702.1 INTERIOR FINISHES	IBC, CHAPTER 8
702.2 INTERIOR FLOOR FINISH	IBC, SECTION 804
702.3 INTERIOR TRIM	IBC, SECTION 805
702.6 MATERIALS AND METHODS	NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHODS REQUIREMENTS IN THE IBC, IECC, IMC, AND IPC

<b>IBC CODE STUDY</b>
<b>IBC CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION</b>
<b>302 OCCUPANCY CLASSIFICATION AND USE DESIGNATION</b>
302.1 OCCUPANCY CLASSIFICATION
<b>303 ASSEMBLY GROUP A</b>
303.1 ASSEMBLY GROUP A
303.2 ASSEMBLY GROUP A-1
303.3 ASSEMBLY GROUP A-2
303.4 ASSEMBLY GROUP A-3
<b>304 BUSINESS GROUP B</b>
304.1 BUSINESS GROUP B

<b>IBC CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS</b>		
<b>504 BUILDING HEIGHT AND NUMBER OF STORIES</b>		
504.3 HEIGHT IN FEET TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE TYPE IB OCCUPANCY CLASS (A AND B) S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM	ALLOWED 180- FEET	<b>NO CHANGE IN BUILDING HEIGHT</b>
504.4 NUMBER OF STORIES TYPE IB OCCUPANCY CLASS (A AND B) S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM	ALLOWED A-1 = 6-STORIES A-2 = 12-STORIES A-3 = 12-STORIES B = 12-STORIES	<b>NO CHANGE IN THE NUMBER OF STORIES</b>
<b>506 BUILDING AREA</b>		
506.2 ALLOWABLE AREA DETERMINATION TABLE 506.2 ALLOWABLE AREA FACTOR IN SQUARE FEET TYPE IB SM = BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM	ALLOWED A-1 = UL A-2 = UL A-3 = UL B = UL	<b>NO CHANGE IN AREA</b>
<b>508 MIXED USE AND OCCUPANCY</b>		<b>NO CHANGE IN USE OR OCCUPANCY</b>

<b>IBC CHAPTER 6: TYPES OF CONSTRUCTION</b>		
<b>602 CONSTRUCTION CLASSIFICATION</b>	TYPE 1B	NO CHANGE

<b>IBC CHAPTER 8: INTERIOR FINISHES</b>			
<b>803 WALL AND CEILING FINISHES</b>			
803.1.2 INTERIOR WALL AND CEILING FINISH MATERIALS TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723	CLASS A = FLAME SPREAD INDEX 0-25; SMOKEDEVELOPED INDEX 0-450 CLASS B = FLAME SPREAD INDEX 26-75; SMOKEDEVELOPED INDEX 0-450 CLASS C = FLAME SPREAD INDEX 76-200; SMOKEDEVELOPED INDEX 0-450		
803.13 INTERIOR FINISH REQUIREMENTS BASED ON OCCUPANCY			
TABLE 803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY			
GROUP (SPRINKLERED)	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1, A-2	B	B	C
A-3	B	B	C
B	B	C	C

<b>IBC CHAPTER 10: MEANS OF EGRESS</b>					
<b>2902 MINIMUM PLUMBING FACILITIES</b>					
TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT					
SMALL THEATRE LEVEL	ASSEMBLY	9,345 SF	15 SF	NET	184
	ASSEMBLY	761 SF	30 SF	NET	1,064
	ASSEMBLY	230 SF	100 SF	NET	26
	ASSEMBLY	1,622 SF	300 SF	NET	3
					6
					1,283 (NO CHANGE IN OCCUPANT LOAD)
2ND STREET LEVEL	ASSEMBLY	641 SF	30 SF	NET	22
	ASSEMBLY	1,471 SF	100 SF	NET	15
	BUSINESS AREAS	5,130 SF	100 SF	GROSS	52
	BUSINESS AREAS	1,122 SF	300 SF	GROSS	4
					93
3RD STREET LEVEL	ASSEMBLY	5,725 SF	30 SF	NET	191
	BUSINESS AREAS	5,877 SF	100 SF	GROSS	59
	BUSINESS AREAS	4,153 SF	300 SF	GROSS	14
					264 (NO CHANGE IN OCCUPANT LOAD)
MAIN THEATRE LEVEL	ASSEMBLY	13,232 SF	15 SF	NET	883
	ASSEMBLY	5,290 SF	30 SF	NET	177
	ASSEMBLY			FIXED SEATING	1,496
	BUSINESS AREAS	225 SF	300 SF	GROSS	3
	BUSINESS AREAS	2,870 SF	100 SF	GROSS	17
					2,576 (NO CHANGE IN OCCUPANT LOAD)
MEZZANINE LEVEL	ASSEMBLY	1,953 SF	15 SF	NET	131
	ASSEMBLY		FIXED SEATING	FIXED SEATING	618
					749 (NO CHANGE IN OCCUPANT LOAD)
BALCONY LEVEL	ASSEMBLY	1,953 SF	15 SF	NET	131
	ASSEMBLY		FIXED SEATING	FIXED SEATING	368
					499 (NO CHANGE IN OCCUPANT LOAD)

<b>IBC CHAPTER 29: PLUMBING SYSTEMS</b>							
<b>2902 MINIMUM PLUMBING FACILITIES</b>							
TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES							
CLASSIFICATION	DESCRIPTION	WATER CLOSET (M)	WATER CLOSET (F)	LAVATORIES (M)	LAVATORIES (F)	RINKING FOUNTAIN	SERVICE SINK
		REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED
BALCONY LEVEL	MALE	2	3	2	3		
	FEMALE	6	3	2	3		
MEZZANINE LEVEL		3	2	2	3		
MAIN THEATER LEVEL		15	22	10	10		
3RD STREET LEVEL		4	24	3	15		
2ND STREET LEVEL		3	3	2	3		
SMALL THEATER LEVEL		6	10	4	4		
TOTAL		33	61	53	65	23	34
						23	43
						NO CHANGE	NO CHANGE
							NO CHANGE



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PROJECT:  
**TPAC FINISH AND SIGNAGE IMPROVEMENTS IOT1**



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**2-F&S-H**  
CODE REVIEW MATRIX

**SHEET NOTES**

1. THESE DRAWINGS ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. ALL FIXTURES SHALL MEET MINIMUM ACCESSIBILITY REQUIREMENTS AS DEFINED IN THE INTERNATIONAL BUILDING CODE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ANSI A117.1, 2009.
2. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR ALL FIXTURES, DEVICES, ACCESSORIES, AND EQUIPMENT, TYPICAL.



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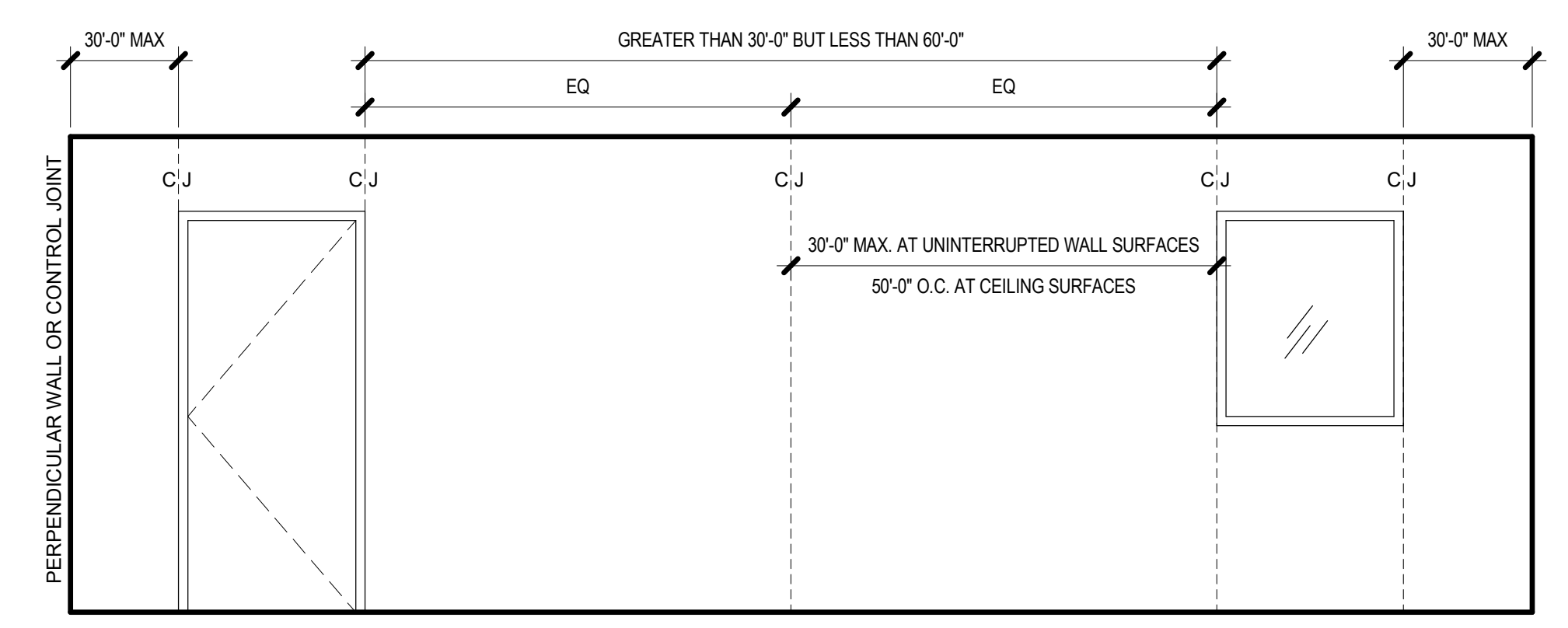
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**3-F&S-G**

**ACCESSIBILITY REQUIREMENTS AND TYPICAL MOUNTING LOCATIONS**

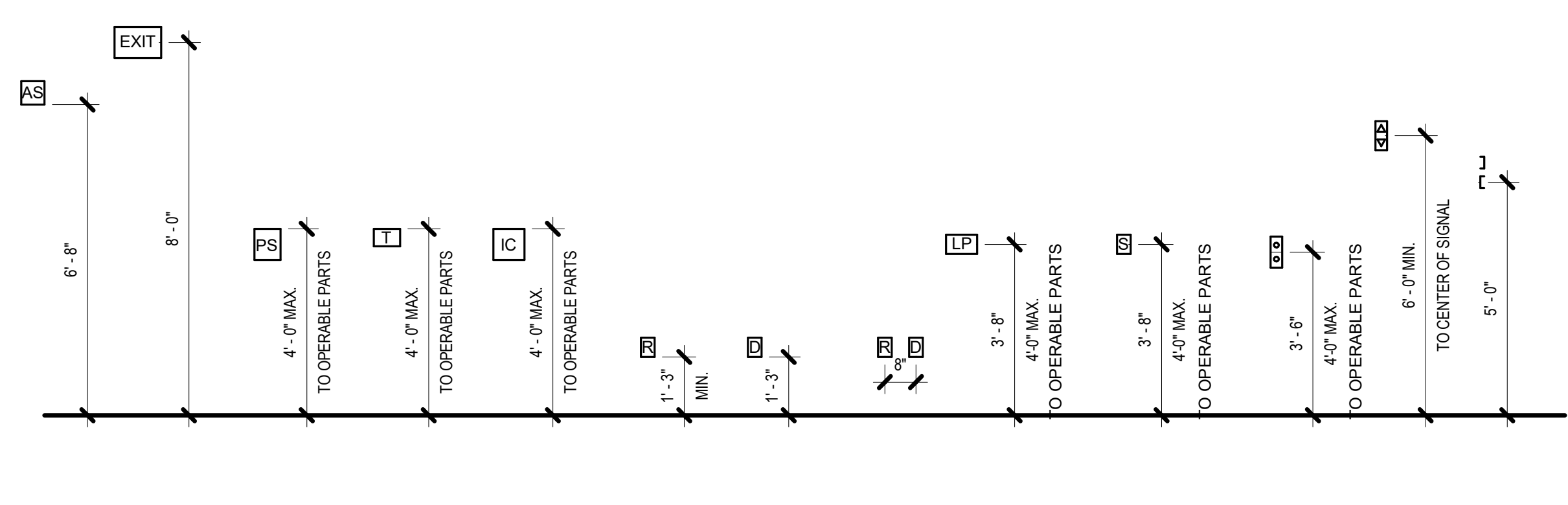


- CONTROL JOINT NOTES:**
1. PROVIDE CONTROL JOINTS ON BOTH SIDES OF ALL DOORS AND WINDOWS.
  2. WHERE FIRE AND/OR SOUND CONTROL ARE REQUIRED, INSTALL AN APPROVED SEALANT BEHIND THE C.J. MAINTAIN FIRE RATINGS OF WALL AND CEILING ASSEMBLIES.
  3. CONTROL JOINTS TO BE #93 STYLE WITH REMOVABLE TAPE.
  4. INSTALL C.J.'S WHERE WALL OR CEILING ASSEMBLIES TRAVERSE A BUILDING CONSTRUCTION JOINT.
  5. PROVIDE STUD FRAMING OR OTHERWISE SOLID SUBSTRATE ON BOTH SIDES OF C.J.

**5 GYPSUM BOARD CONTROL JOINT GUIDE Copy 1**  
3/8" = 1'-0"

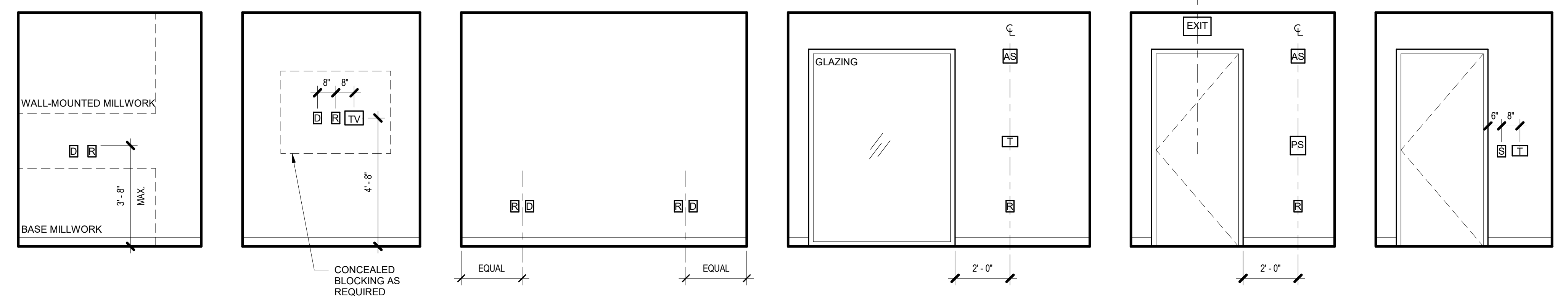
**SYMBOL LEGEND:**

- AS ALARM / STROBE
- EXIT EXIT SIGNS
- PS FIRE ALARM PULL STATION
- T THERMOSTAT
- IC INTERCOM
- R RECEPTACLE
- D DATA OUTLET
- LP LIGHTING PANEL
- S LIGHT SWITCH
- TV TV PANEL
- CB ELEVATOR CALL BUTTON
- EB ELEVATOR HALL SIGNALS
- F ELEVATOR FLOOR INDICATION

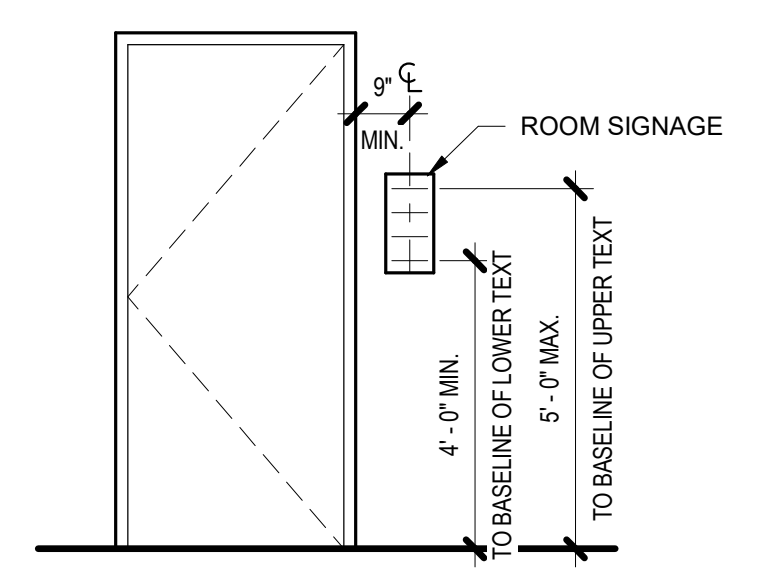


**DEVICE ALIGNMENT NOTES:**

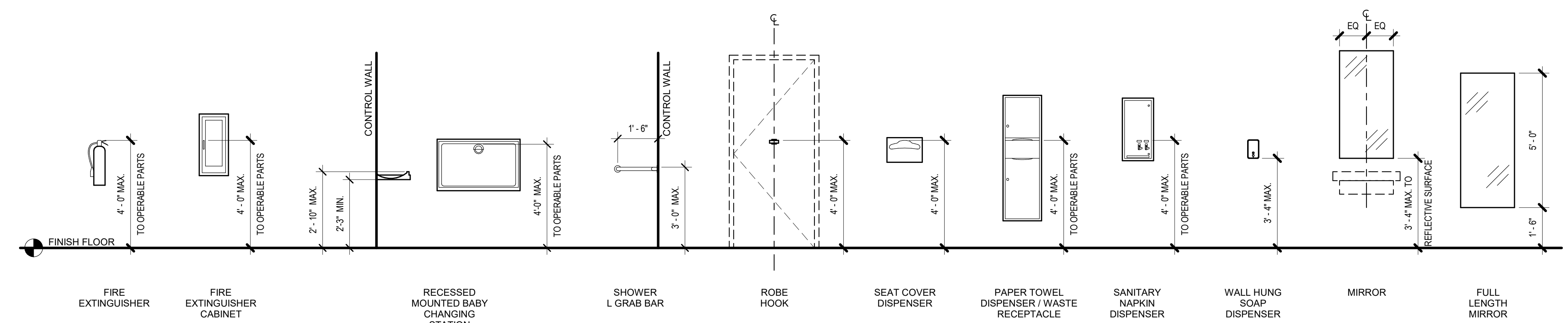
1. ELECTRICAL POWER AND IT/AV PLANS ARE SCHEMATIC IN NATURE AND GENERALLY LOCATE DEVICES AND ELECTRICAL ELEMENTS WITHIN THE PROJECT.
2. FINAL LOCATION OF DEVICES IS PER THIS GUIDELINE AND AS DETERMINED BY THE ARCHITECT.
3. ALIGN DEVICES AND WALL-MOUNTED ITEMS AS SHOWN. HAPHAZARD OR RANDOM PLACEMENT OF DEVICES WILL BE REJECTED AND WILL BE SUBJECT TO REMOVAL AND RE-INSTALLATION.
4. IF FIELD CONDITIONS CREATE A CONFLICT WITH THESE GUIDELINES, NOTIFY THE ARCHITECT FOR DIRECTION BEFORE PROCEEDING.



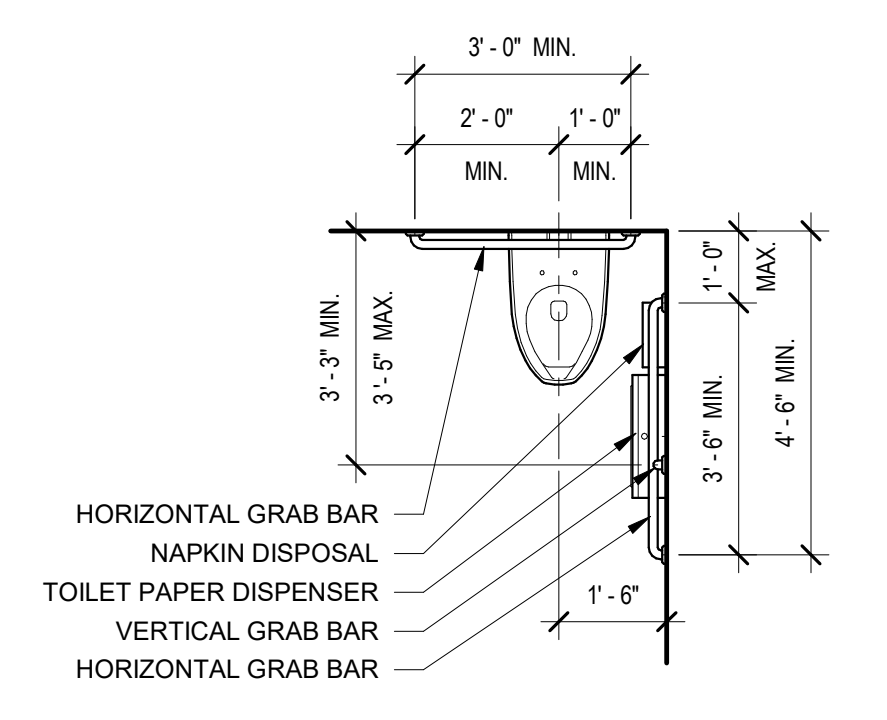
**4 TYPICAL DEVICE MOUNTING HEIGHTS AND ALIGNMENTS Copy 1**  
3/8" = 1'-0"



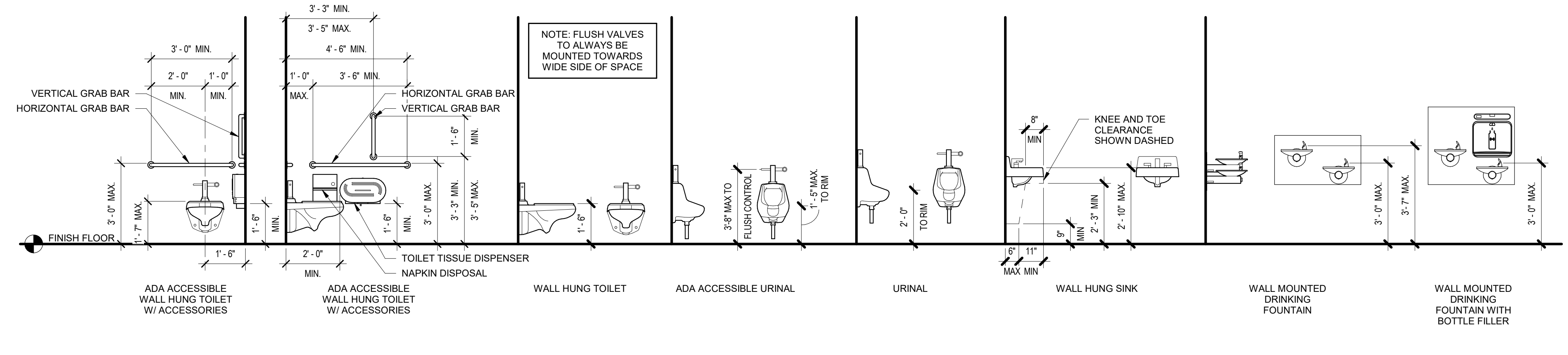
**3 ROOM SIGN LOCATION Copy 1**  
3/8" = 1'-0"



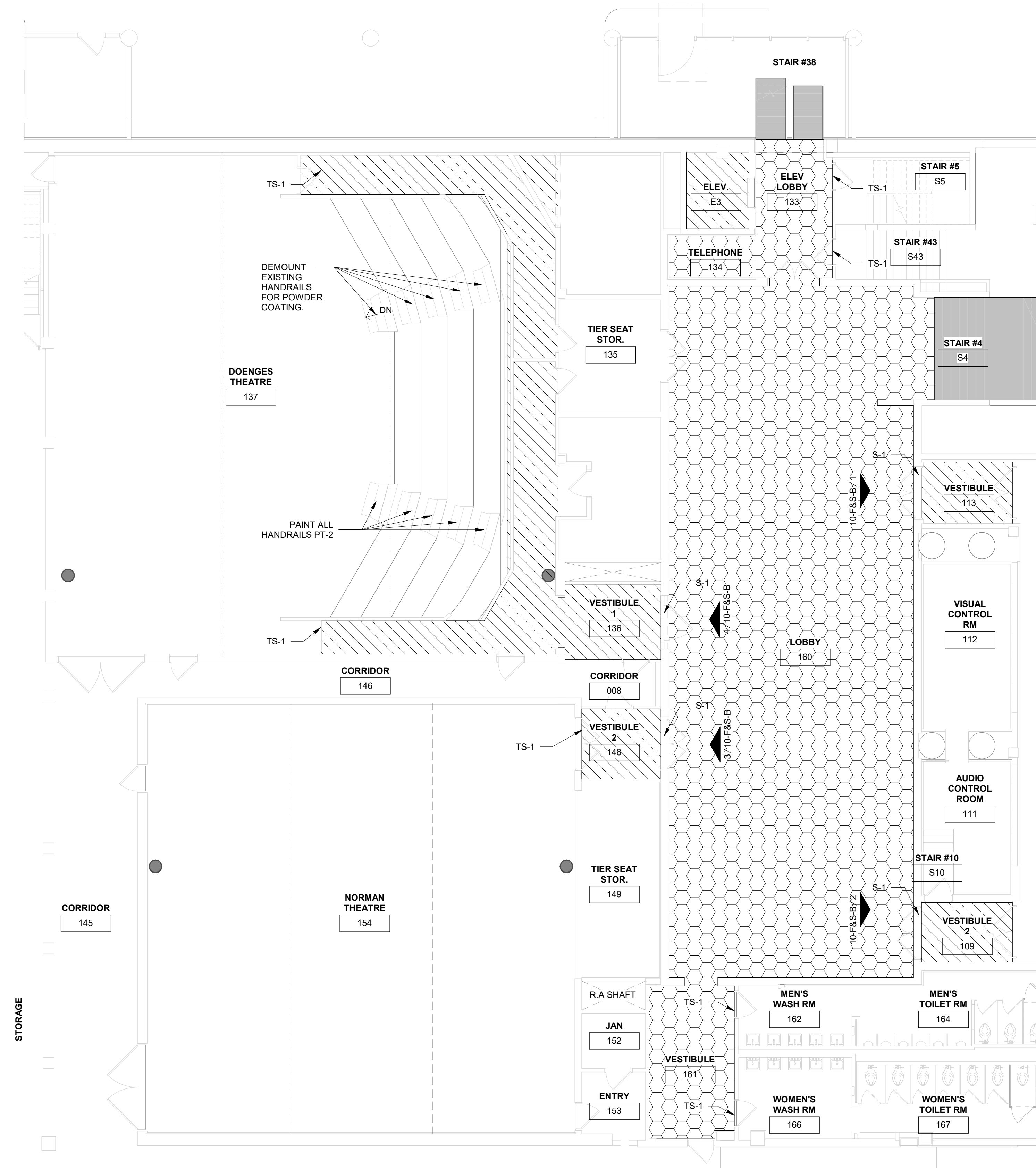
**1 TOILET FIXTURE AND EQUIPMENT MOUNTING HEIGHTS Copy 1**  
3/8" = 1'-0"



**2 TYPICAL ACCESSIBLE LAYOUT Copy 1**  
3/8" = 1'-0"



**1 TOILET FIXTURE AND EQUIPMENT MOUNTING HEIGHTS Copy 1**  
3/8" = 1'-0"

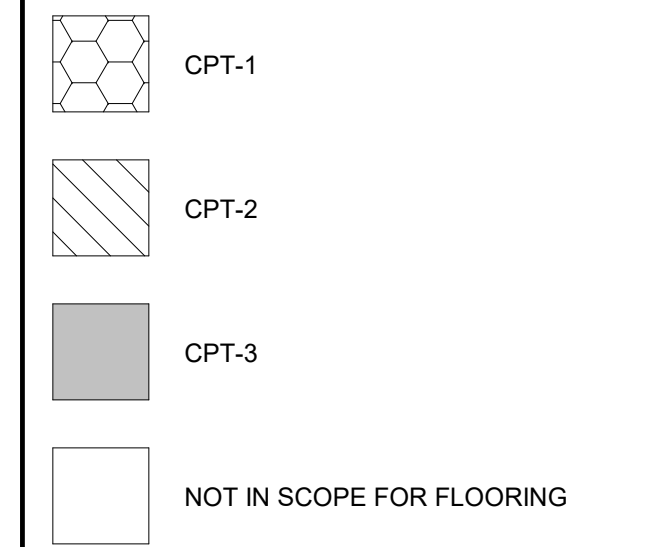


**1** FINISH/SIGNAGE PLAN - SMALL THEATER FLOOR LEVEL  
1/8" = 1'-0" 1 / A501

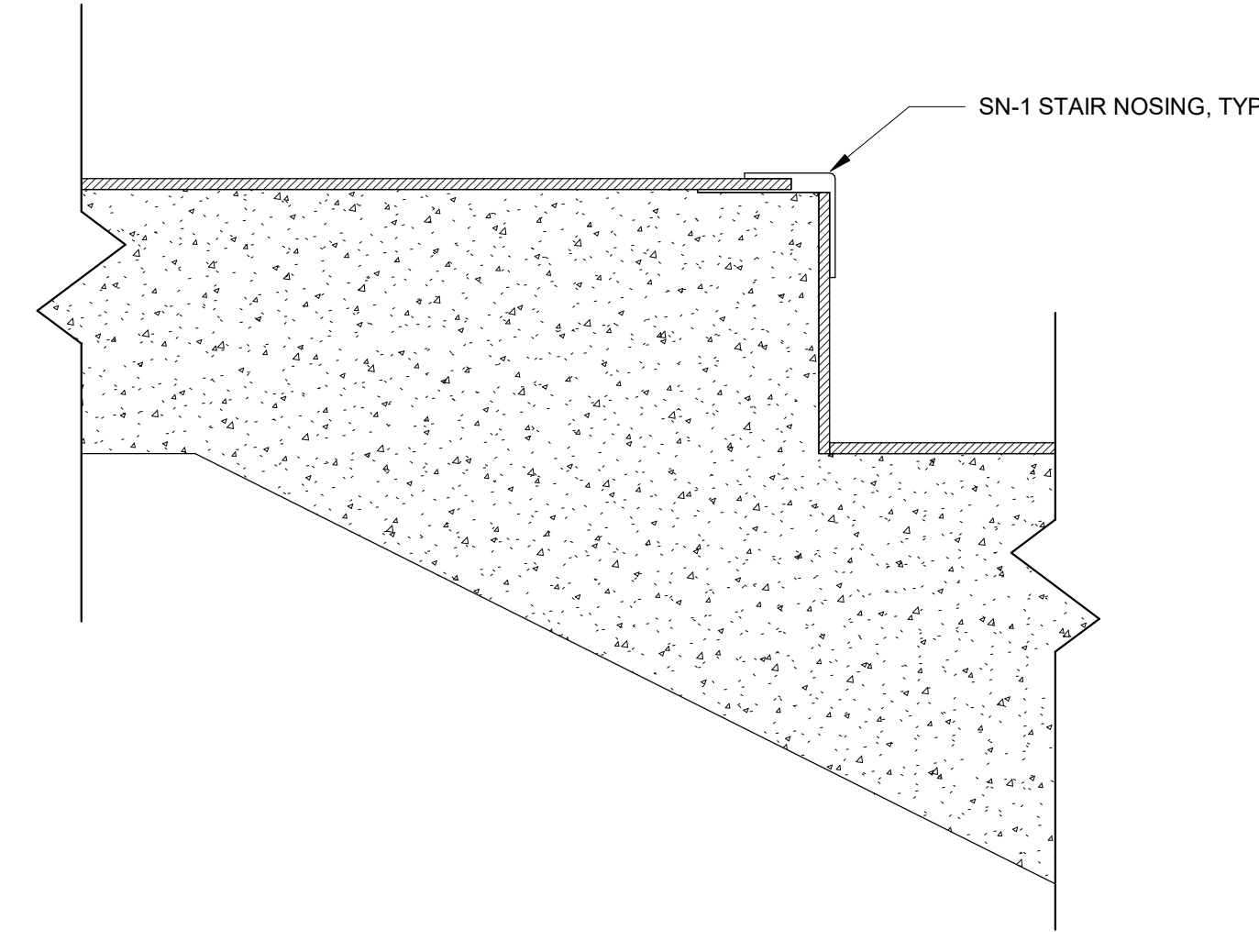
**SHEET NOTES - FINISH PLAN**

- 1. ALL FLOOR TRANSITIONS ARE TO OCCUR AT THE CENTERLINE OF DOOR WHEN DOOR IS IN CLOSED POSITION UNLESS NOTED OTHERWISE. VERIFY AND LOCATE TS-1 WHERE NEEDED EVEN IF NOT SHOWN IN THE DRAWINGS.
- 2. PROVIDE EXTRUDED ALUMINUM TRANSITION STRIP BETWEEN DIFFERENT FLOOR MATERIALS. SIZE ACCORDINGLY FOR HEIGHT DIFFERENCES.
- 3. PATCH, REPAIR, AND PAINT WALLS WHERE NEEDED TO MATCH EXISTING.

**LEGEND - FINISH PLAN**



ROOM FINISH SCHEDULE				
ROOM NO.	ROOM NAME	FLOOR	BASE	COMMENTS
336	LOBBY (I)	CPT-1	WB-1	
611	FOYER (I)	CPT-1	WB-1	
E6	ELEV. (I)	CPT-2	WB-1	WRAP ELEVATOR DOORS WITH SS-1
S38	STAIR #38 (I)	STR-1	WB-1	USE SN-1 ON ALL STAIR AND LANDING NOSING



**2** STAIR NOSING DETAIL - TYP.  
3" = 1'-0"

ROOM FINISH LEGEND - FINISH AND SIGNAGE PR 25-14 IOT1						
FINISH CODE	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES
<b>BASE</b>						
WB-1	--	--	WOOD STAINED TO MATCH EXISTING	--	WOOD BASE SPECIES AND HEIGHT TO MATCH EXISTING	RE: ROOM FINISH SCHEDULE
<b>FLOOR</b>						
CPT-1	BENTLEY MILLS	CHRONICLE 8CM23	DOCUMENT 801532	ASHLAR	18 X 36 CARPET TILE WITH AFIRMA II HARDBACK	RE: FLOOR FINISH PLAN
CPT-2	BENTLEY MILLS	REDACTED 8RF23	DOCUMENT 801532	ASHLAR	18 X 36 CARPET TILE WITH AFIRMA II HARDBACK	RE: FLOOR FINISH PLAN
STR-1	BENTLEY MILLS	REDACTED 8RF23	DOCUMENT 801532	MONOLITHIC	STAIR TREADY RISER CARPET TILE WITH AFIRMA II HARDBACK	RE: FLOOR FINISH PLAN
<b>MISC.</b>						
SN-1	JOHNSONITE	STAIR NOSING	RCN 283 A (COLOR TOAST)	--	STAIR NOSING	STAIR NOSING FOR ALL STAIRS AND LANDINGS GETTING NEW CARPET. CONTRACTOR TO VERIFY SIZE NEEDED FOR CARPET
SS-1	INPRO	--	STAINLESS STEEL WALL CLADDING	--	20 GAUGE WALL CLADDING WITH OUTSIDE CORNER TRIM	ELEVATOR DOORS AND FRAME
TS-1	JOHNSONITE	TRANSITION	CTA 283 J 1/4" (COLOR TOAST)	--	TRANSITION - CARPET TO HARD FLOOR	RE: FLOOR FINISH PLAN
<b>WALLS</b>						
PT-1	SHERWIN WILLIAMS	--	MATCH EXISTING WALL	--	PAINT	TOUCHUP AND REPAINT WALLS WHERE NEEDED
PT-2	--	--	MATCH EXISTING HANDRAILS	--	HANDRAILS ARE TO BE MOUNTED AND SENT OUT FOR POWDER COATING	HANDRAILING IN DOENGES THEATER



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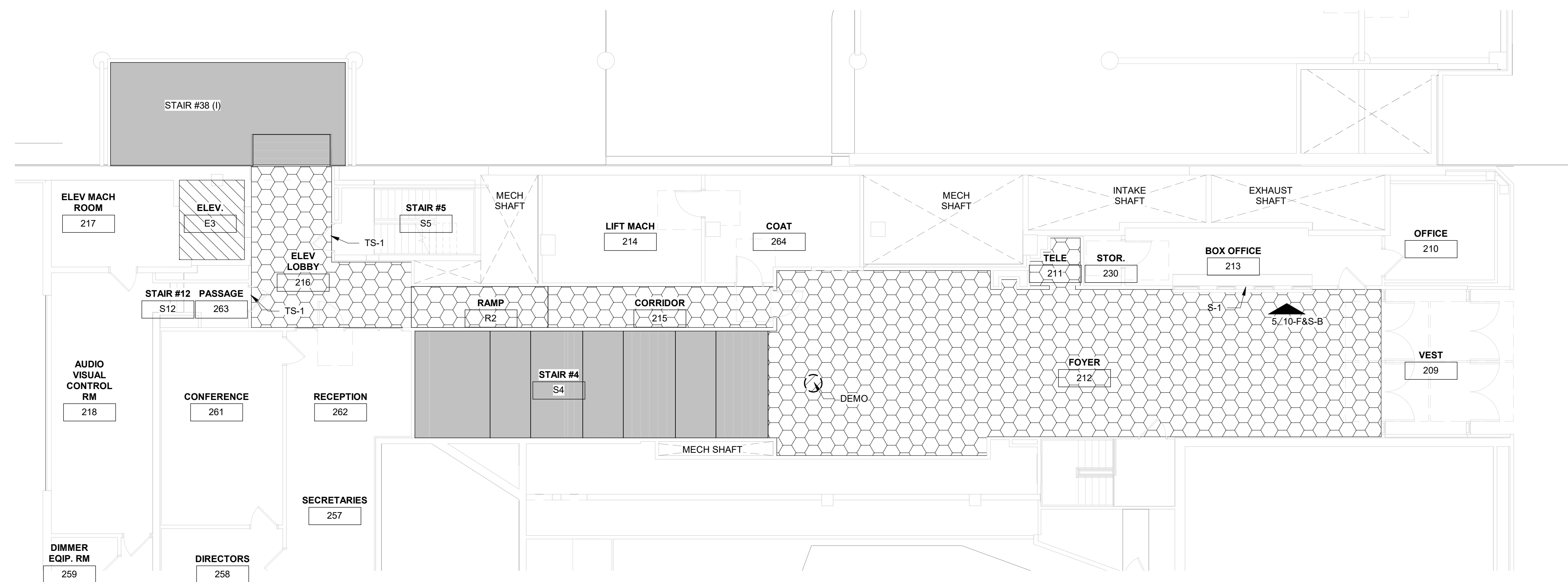
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**4-F&S-A**

PARTIAL FINISH/SIGNAGE PLAN - SMALL THEATER LEVEL, ROOM FINISH SCHEDULE AND LEGEND



**SHEET NOTES - FINISH PLAN**

1. ALL FLOOR TRANSITIONS ARE TO OCCUR AT THE CENTERLINE OF DOOR WHEN DOOR IS IN CLOSED POSITION UNLESS NOTED OTHERWISE. VERIFY AND LOCATE TS-1 WHERE NEEDED EVEN IF NOT SHOWN IN THE DRAWINGS.
2. PROVIDE EXTRUDED ALUMINUM TRANSITION STRIP BETWEEN DIFFERENT FLOOR MATERIALS. SIZE ACCORDINGLY FOR HEIGHT DIFFERENCES.
3. PATCH, REPAIR, AND PAINT WALLS WHERE NEEDED TO MATCH EXISTING.

**LEGEND - FINISH PLAN**

- CPT-1
- CPT-2
- CPT-3
- NOT IN SCOPE FOR FLOORING



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**5-F&S-A**

PARTIAL FINISH/SIGNAGE PLAN - 2ND STREET LEVEL

**1 PARTIAL FINISH/SIGNAGE PLAN - 2ND STREET LEVEL**  
1/8" = 1'-0" 1 / A401

**SHEET NOTES - FINISH PLAN**

1. ALL FLOOR TRANSITIONS ARE TO OCCUR AT THE CENTERLINE OF DOOR WHEN DOOR IS IN CLOSED POSITION UNLESS NOTED OTHERWISE. VERIFY AND LOCATE TS-1 WHERE NEEDED EVEN IF NOT SHOWN IN THE DRAWINGS.
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3. PATCH, REPAIR, AND PAINT WALLS WHERE NEEDED TO MATCH EXISTING.

**LEGEND - FINISH PLAN**

- CPT-1
- CPT-2
- CPT-3
- NOT IN SCOPE FOR FLOORING

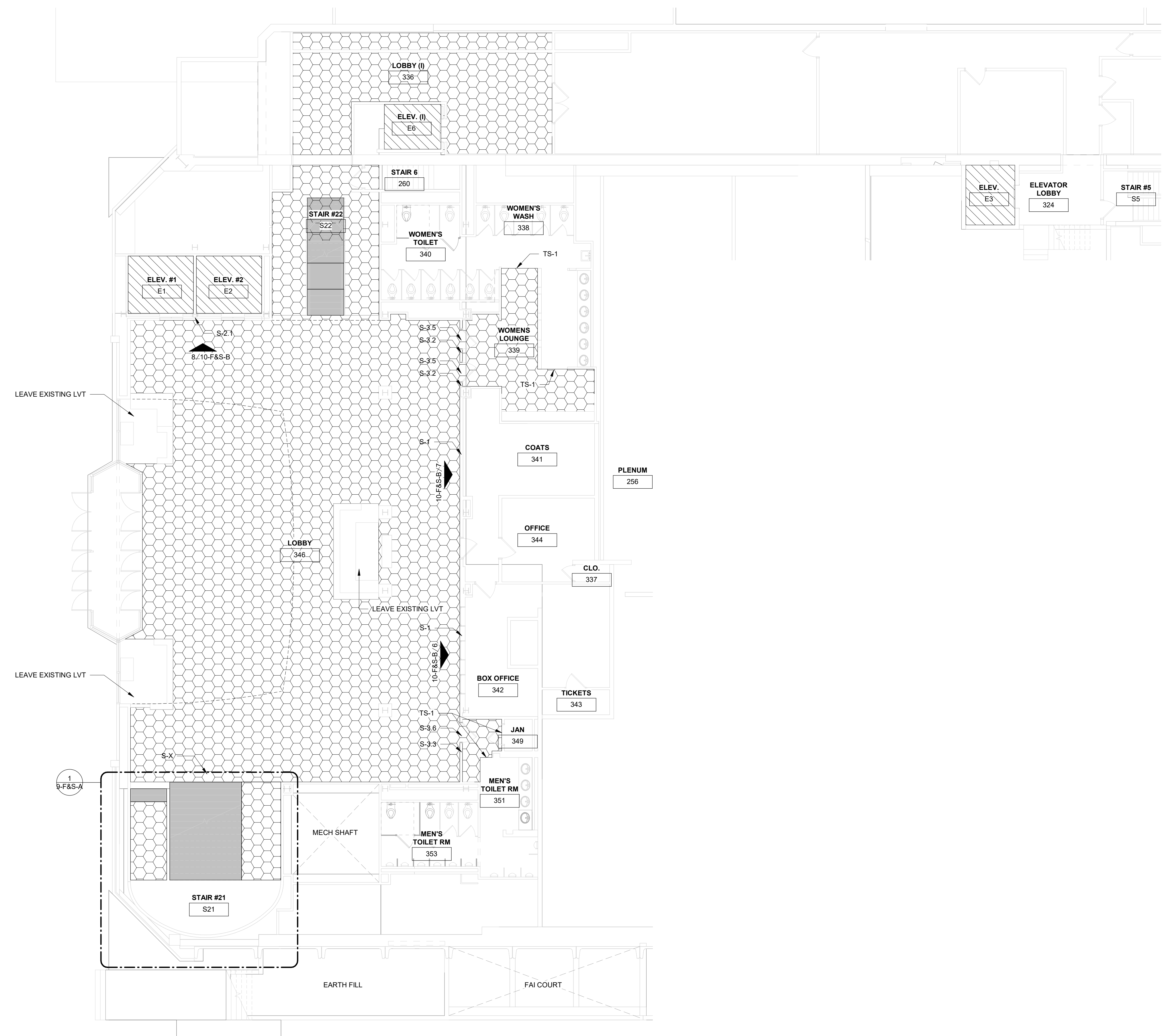
**beck**  
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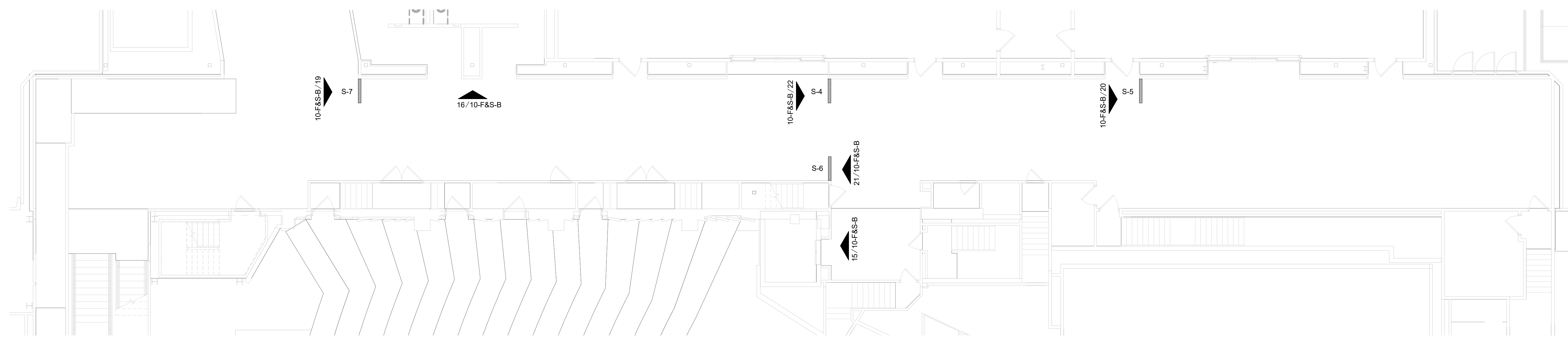
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**1 PARTIAL FINISH/SIGNAGE PLAN - 3RD STREET LEVEL**  
1/8" = 1'-0" 5 / 9-F&S-A



**2 PARTIAL FINISH/SIGNAGE PLAN - GALLERY LEVEL**  
1/8" = 1'-0" 7

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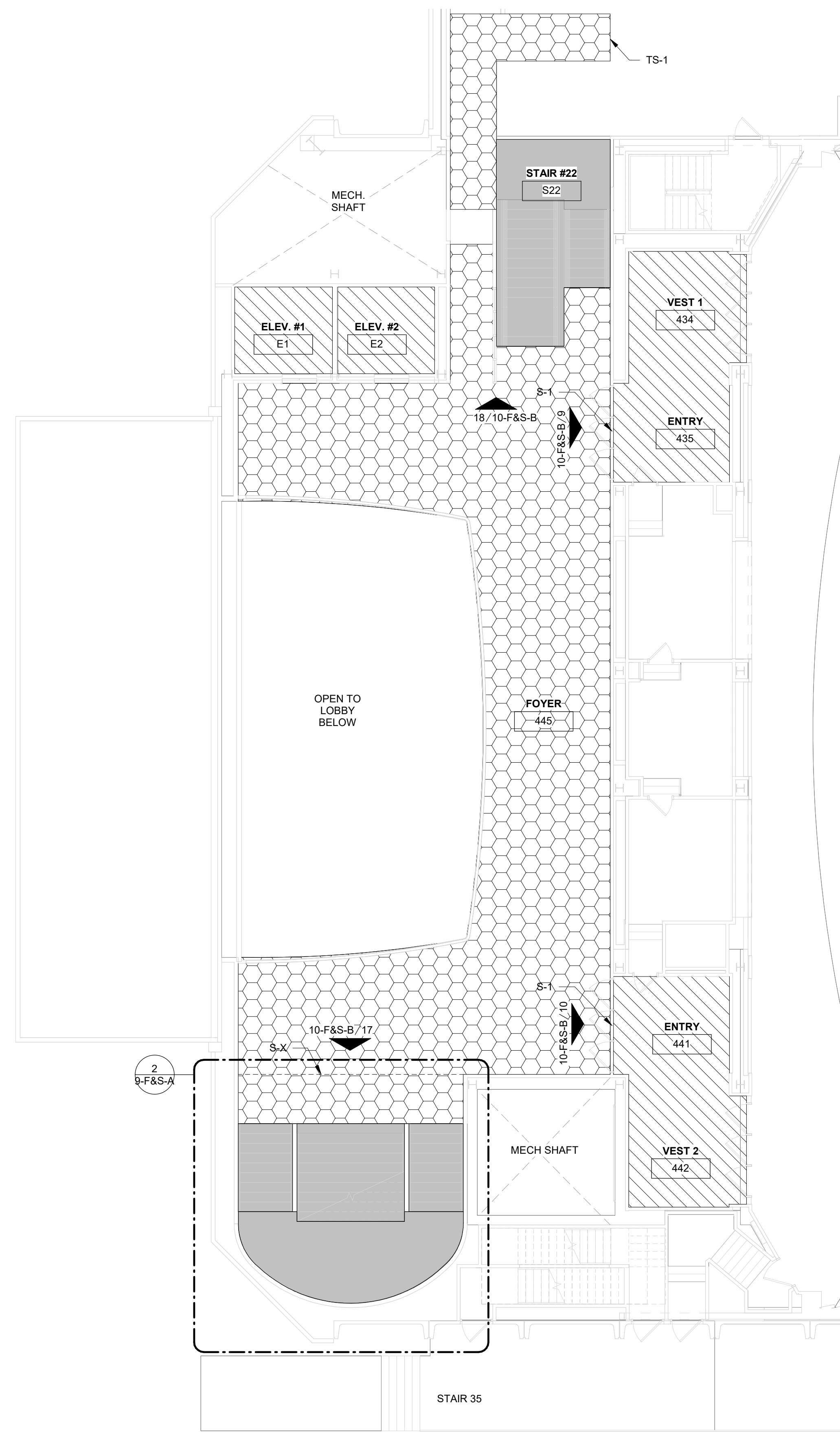
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**6-F&S-A**

PARTIAL FINISH/SIGNAGE PLANS - 3RD STREET AND GALLERY LEVELS



**SHEET NOTES - FINISH PLAN**

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3. PATCH, REPAIR, AND PAINT WALLS WHERE NEEDED TO MATCH EXISTING.

**LEGEND - FINISH PLAN**

- CPT-1 (Hexagonal pattern)
- CPT-2 (Diagonal lines)
- CPT-3 (Solid grey)
- NOT IN SCOPE FOR FLOORING (White)

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**TULSA PERFORMING ARTS CENTER**

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**1** PARTIAL FINISH/SIGNAGE PLAN - MAIN ORCHESTRA HALL LEVEL  
1/8" = 1'-0" 5 / 9-F&S-A

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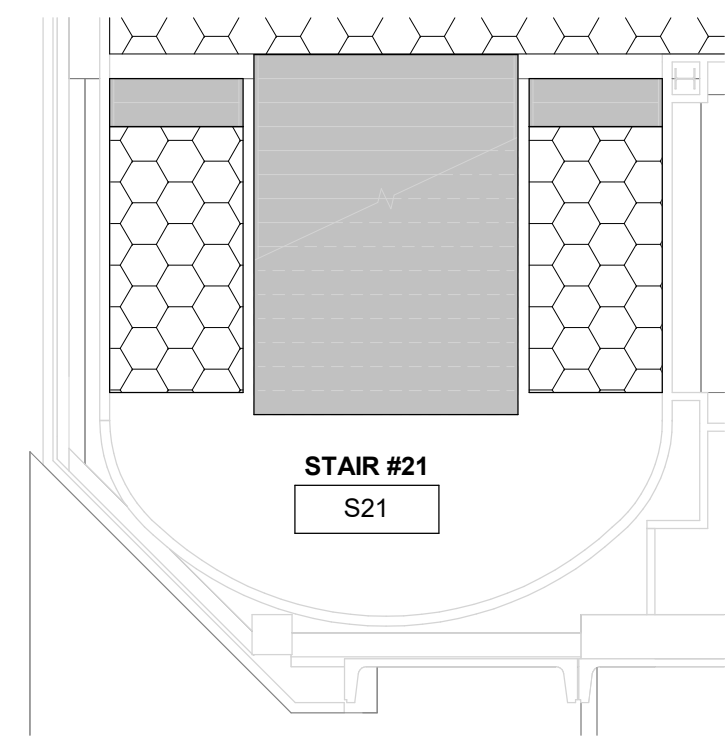
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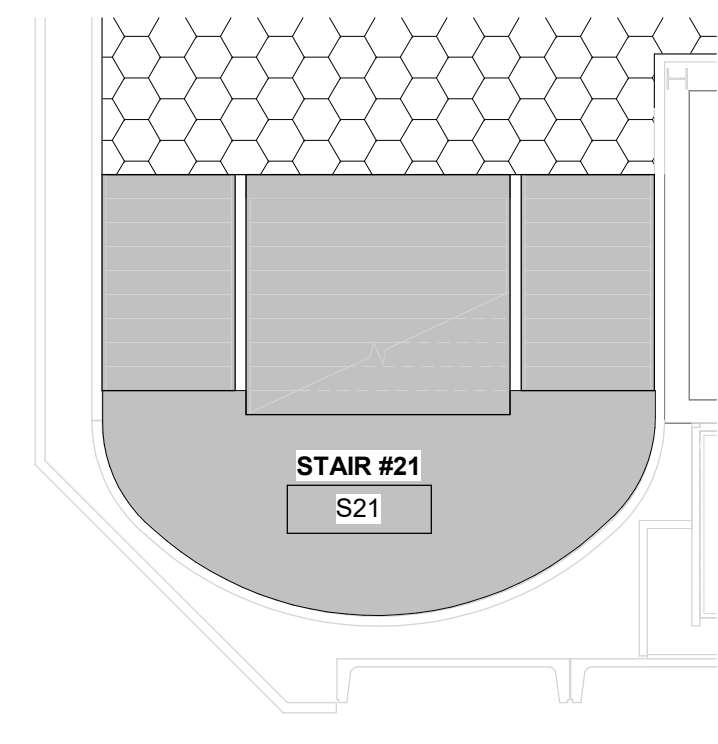
**SHEET NUMBER:**  
**7-F&S-A**

**PARTIAL FINISH/SIGNAGE PLAN - MAIN ORCHESTRA HALL LEVEL**

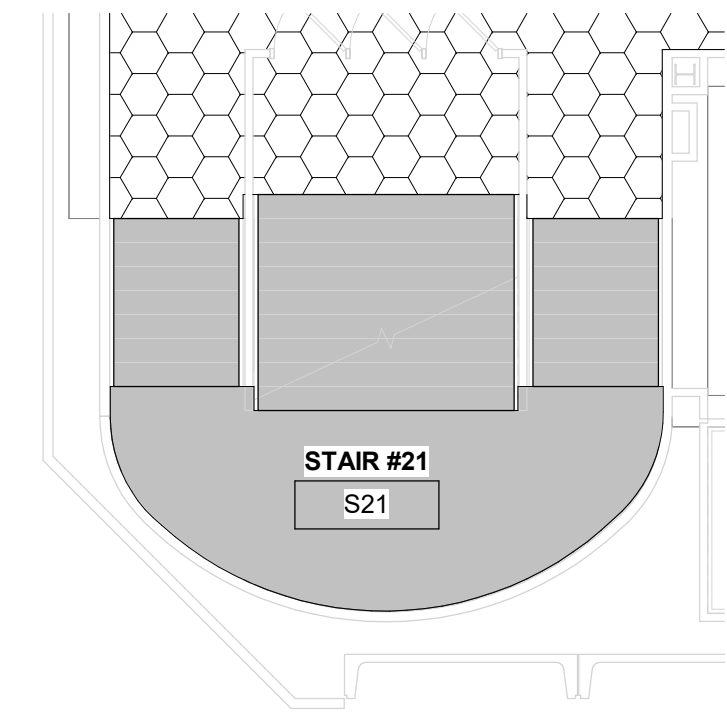




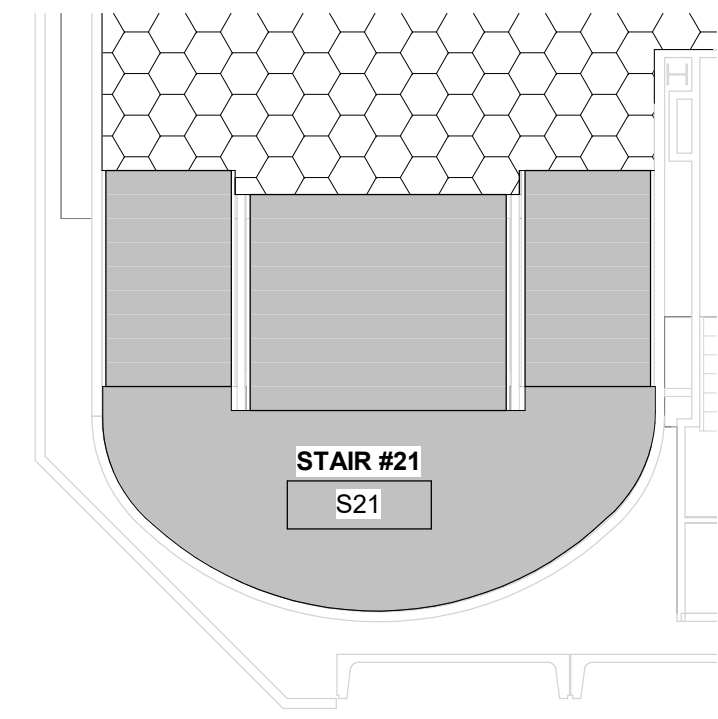
1 ENLARGED STAIR PLAN - 3RD STREET LEVEL  
1/8" = 1'-0" 1 / 8-F&S-A



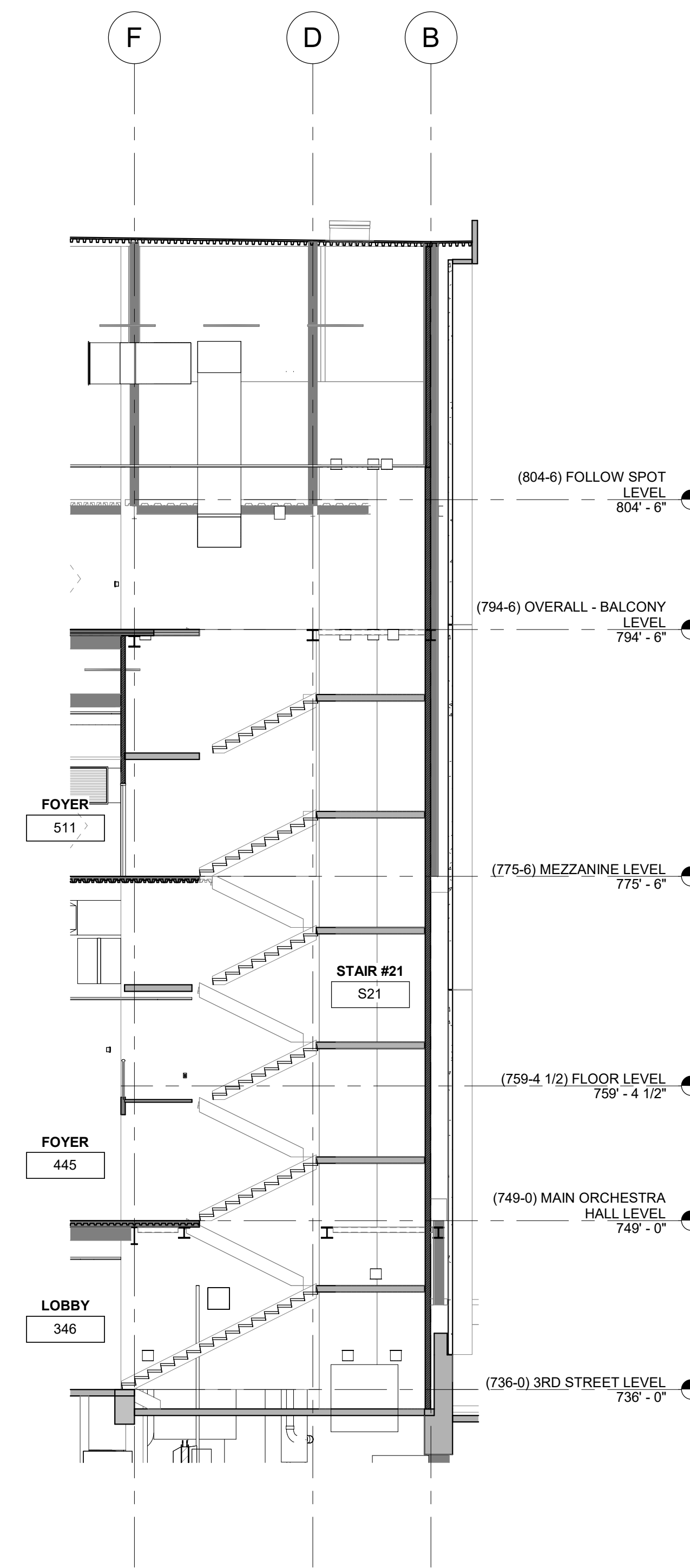
2 ENLARGED STAIR PLAN - MAIN ORCHESTRA HALL LEVEL  
1/8" = 1'-0" 1 / 7-F&S-A



3 ENLARGED STAIR PLAN - MEZZANINE LEVEL  
1/8" = 1'-0" 1 / 8-F&S-A



4 ENLARGED STAIR PLAN - BALCONY LEVEL  
1/8" = 1'-0" 2 / 8-F&S-A



5 STAIR SECTION  
1/8" = 1'-0"

**SHEET NOTES - FINISH PLAN**

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3. PATCH, REPAIR, AND PAINT WALLS WHERE NEEDED TO MATCH EXISTING.

**LEGEND - FINISH PLAN**

- CPT-1 (Hexagonal tile pattern)
- CPT-2 (Diagonal line pattern)
- CPT-3 (Solid grey fill)
- NOT IN SCOPE FOR FLOORING (White box)



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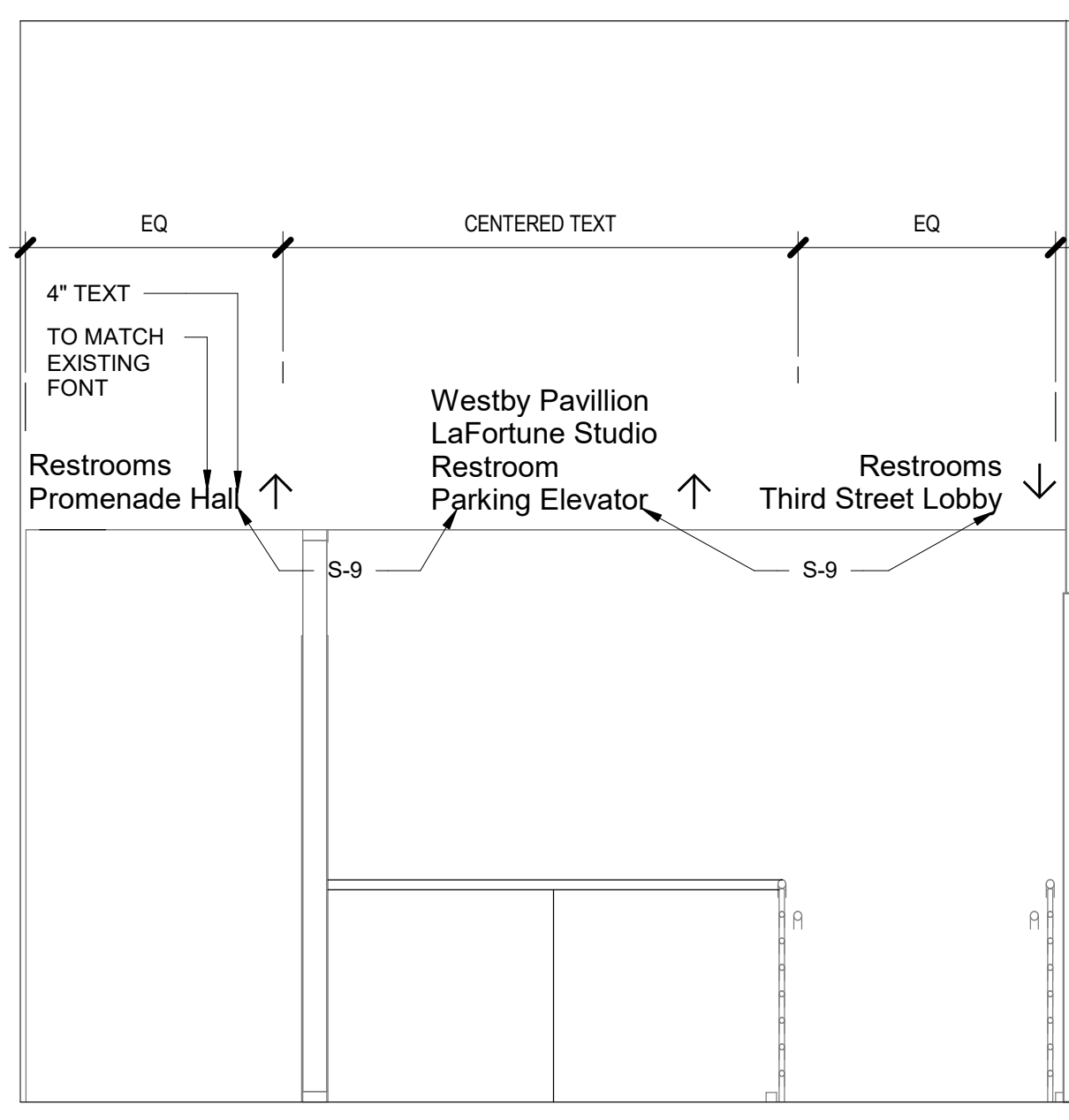
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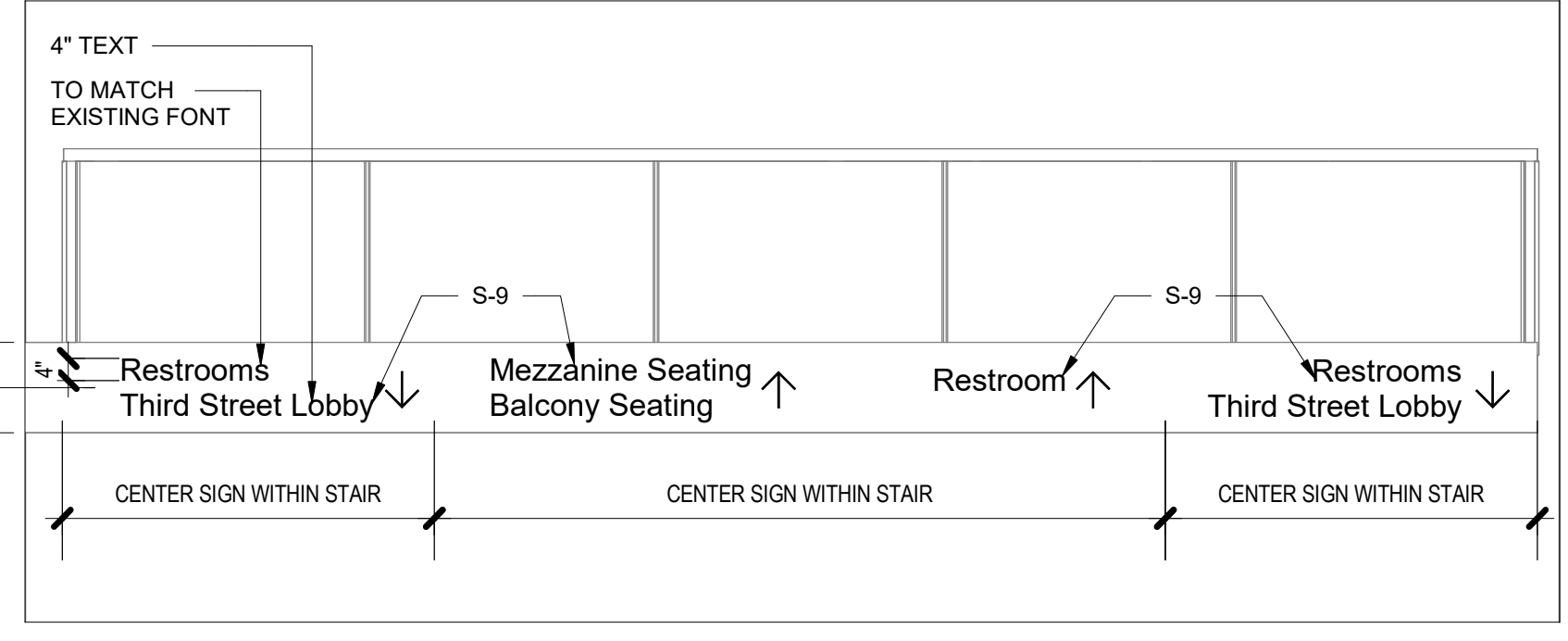
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**9-F&S-A**

ENLARGED STAIR PLANS AND STAIR SECTION

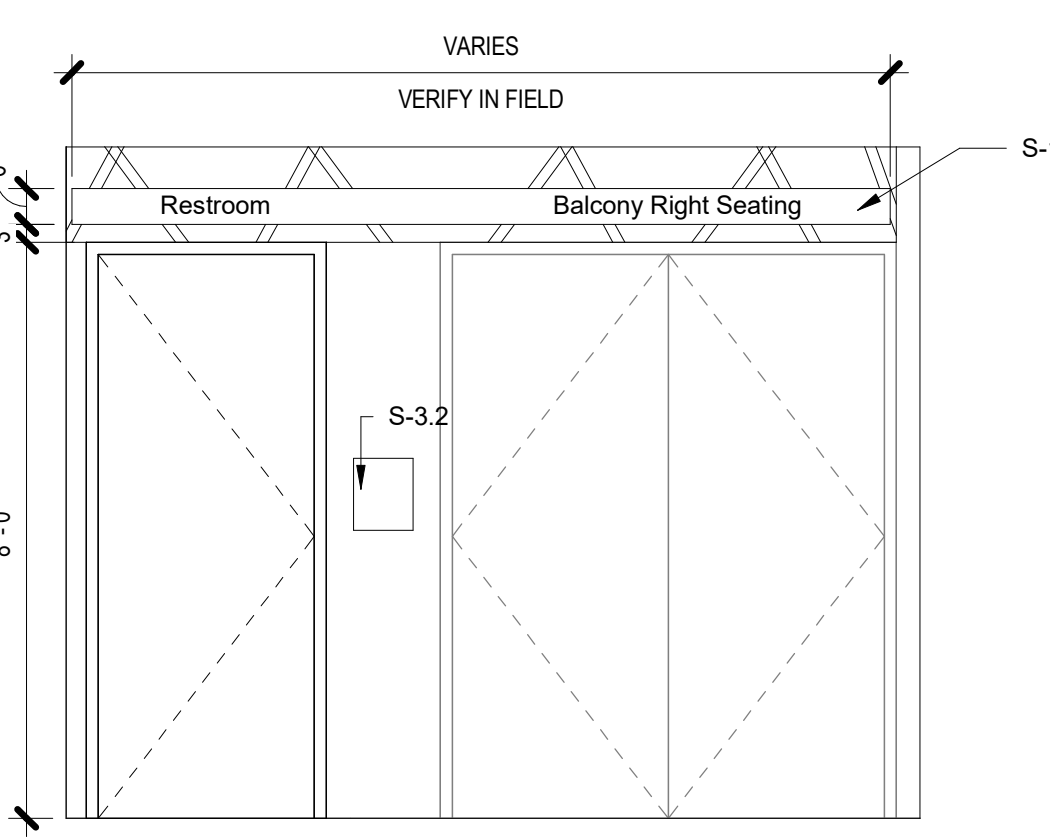
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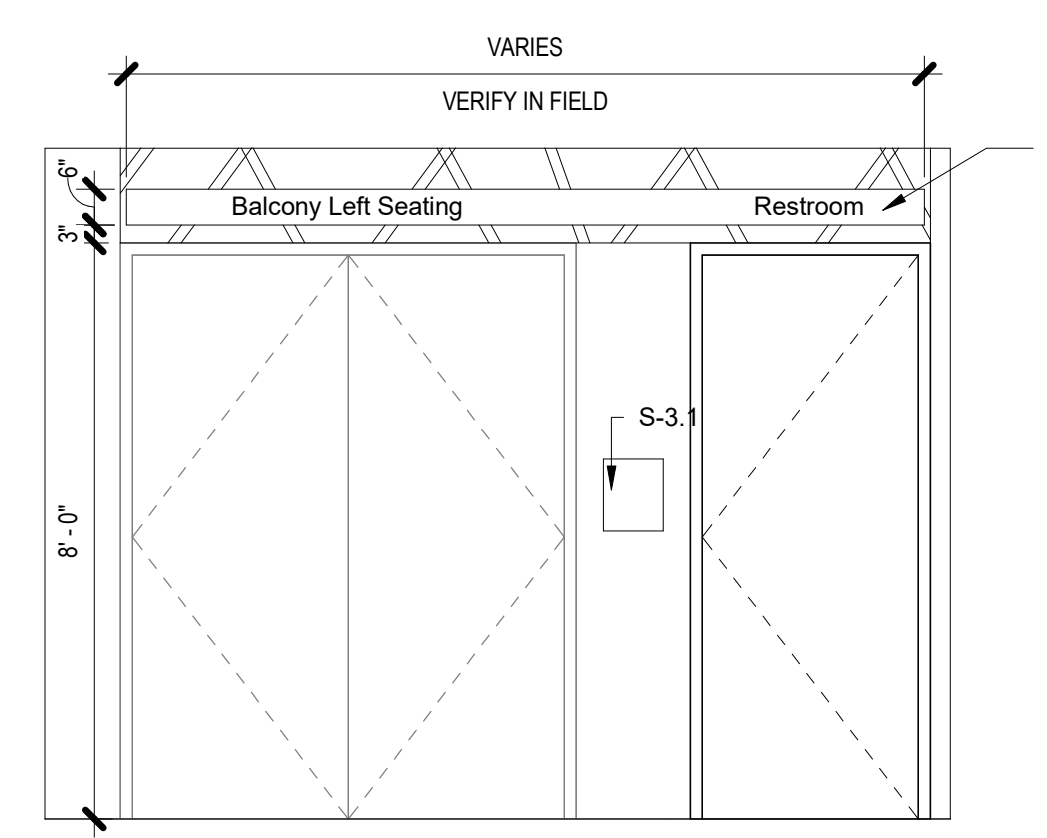
**18 INTERIOR ELEVATION (MAIN ORCHES.)**  
3/8" = 1'-0" 1 / 7-F&S-A



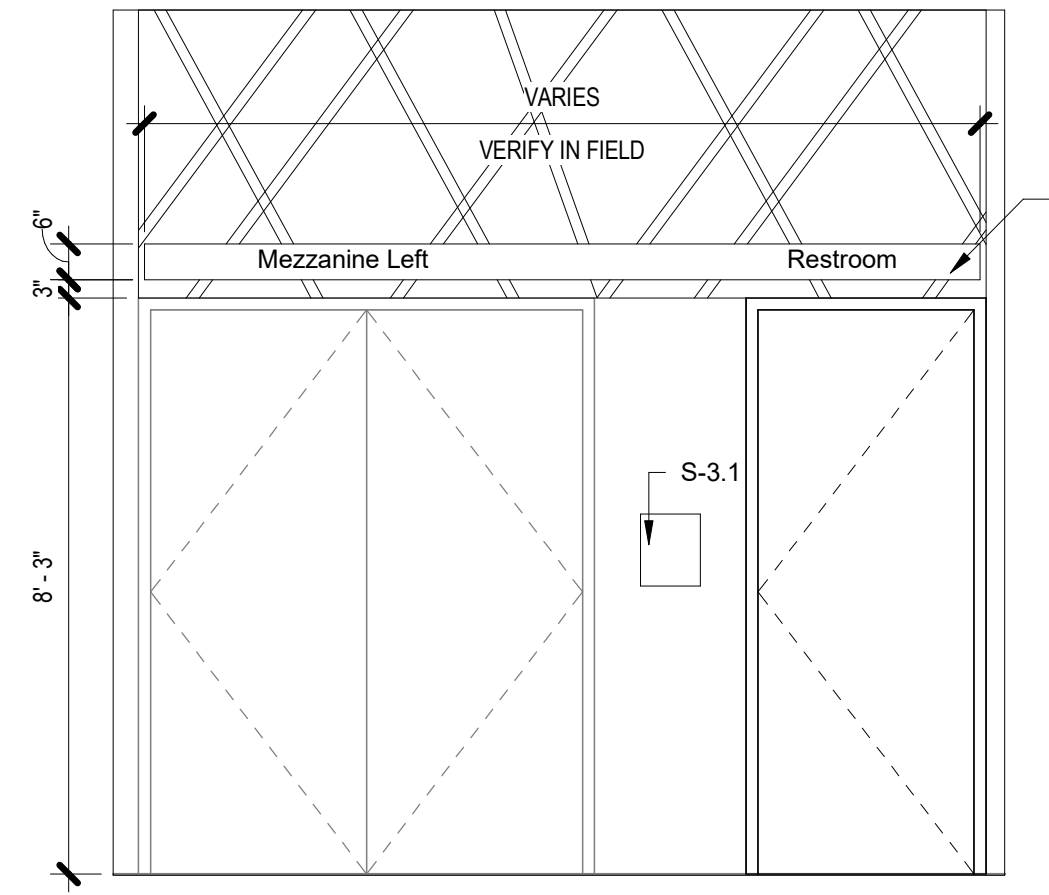
**17 INTERIOR ELEVATION (MAIN ORCHES.)**  
3/8" = 1'-0" 1 / 7-F&S-A



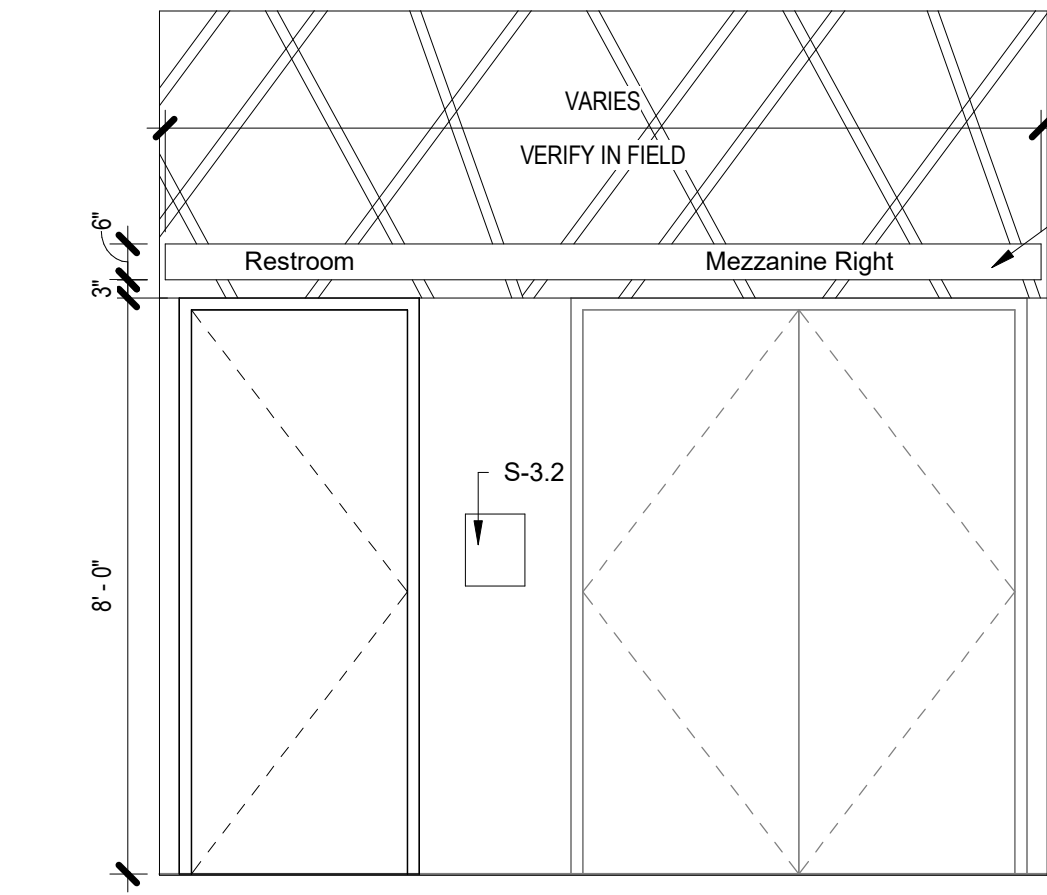
**14 INTERIOR ELEVATION (BALCONY)**  
3/8" = 1'-0" 2 / 8-F&S-A



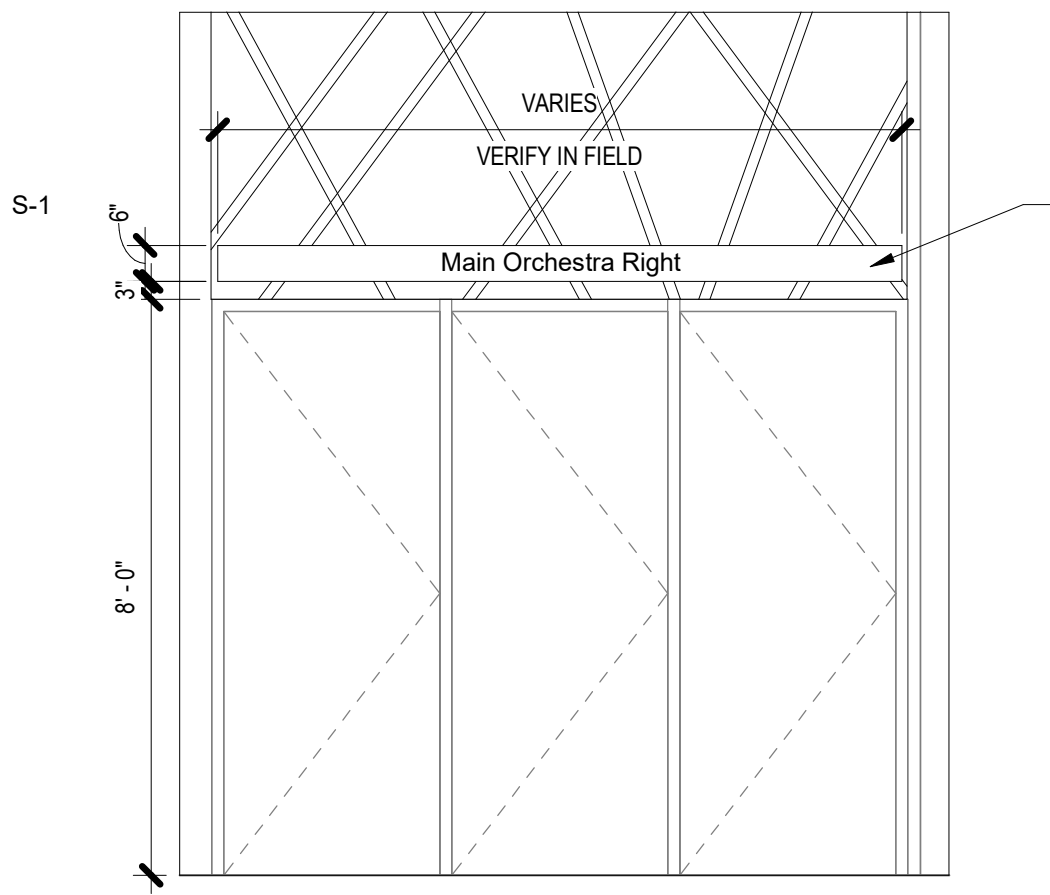
**13 INTERIOR ELEVATION (BALCONY)**  
3/8" = 1'-0" 2 / 8-F&S-A



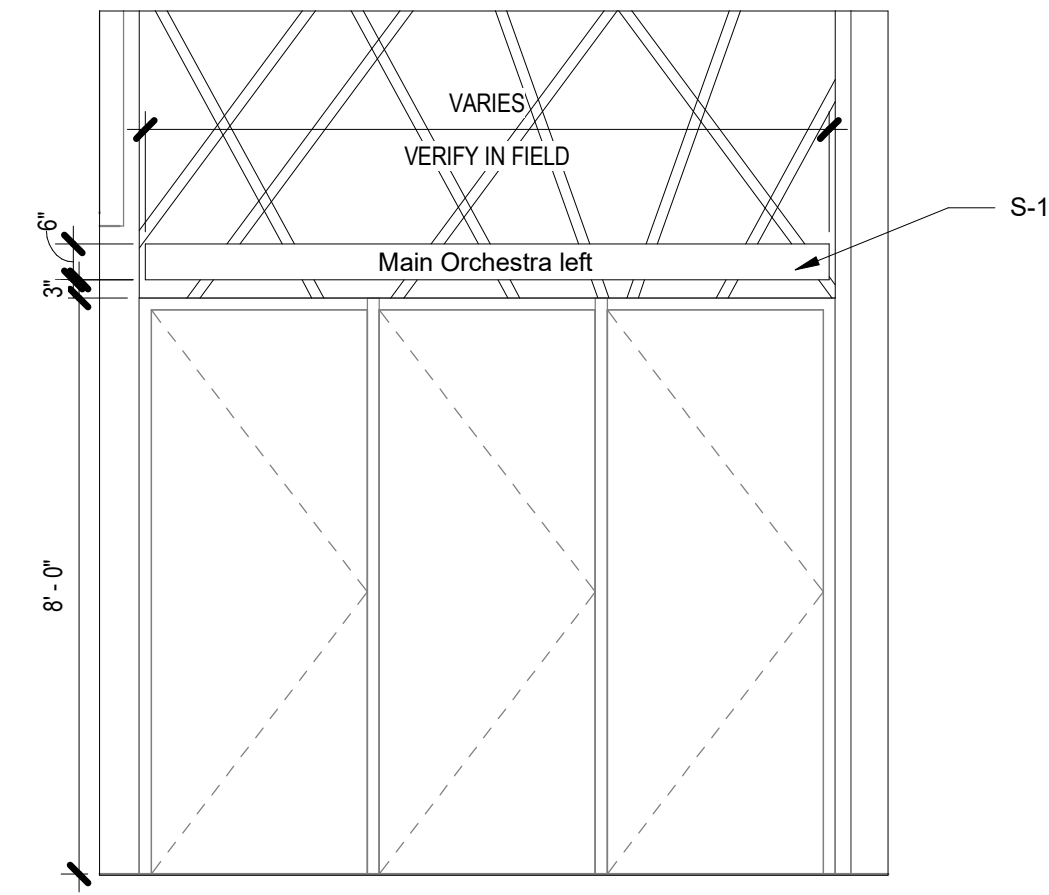
**12 INTERIOR ELEVATION (MEZZANINE)**  
3/8" = 1'-0" 1 / 8-F&S-A



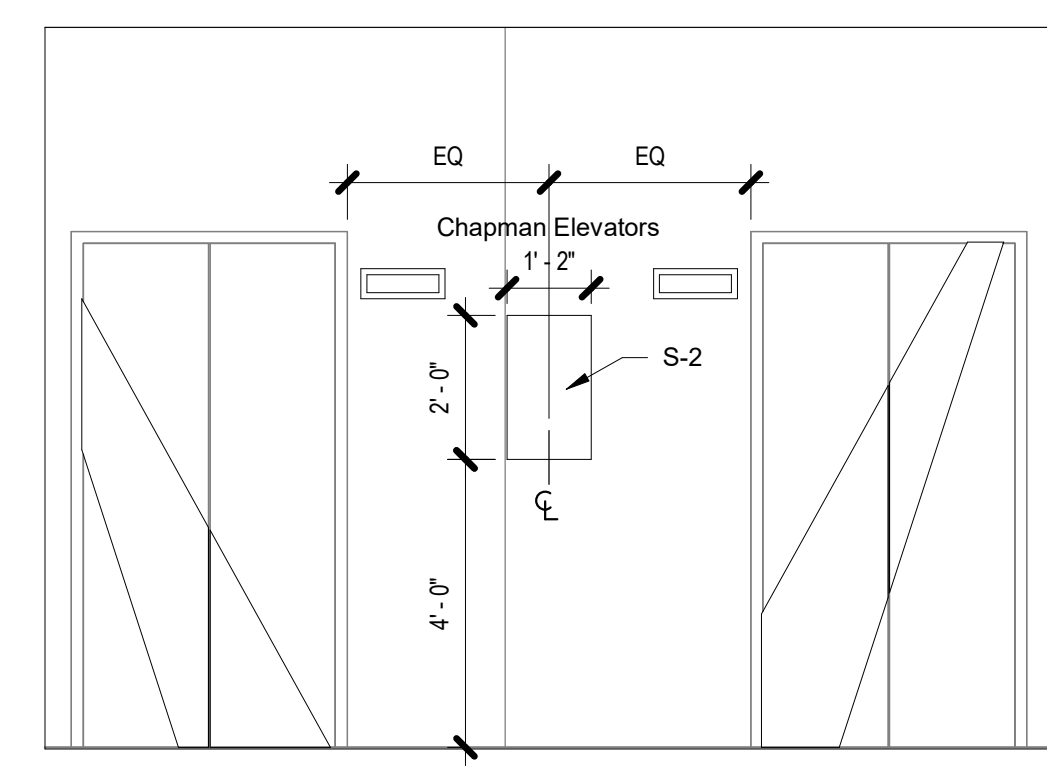
**11 INTERIOR ELEVATION (MEZZANINE)**  
3/8" = 1'-0" 1 / 8-F&S-A



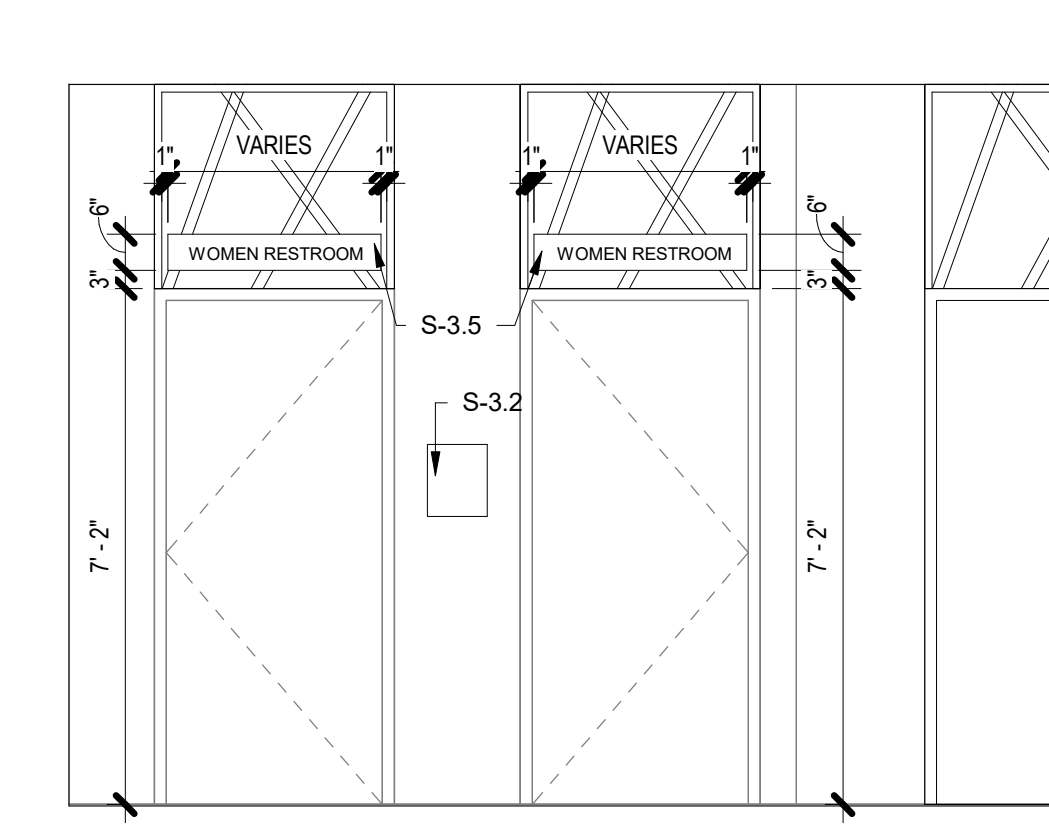
**10 INTERIOR ELEVATION (ORCHESTRA)**  
3/8" = 1'-0" 1 / 7-F&S-A



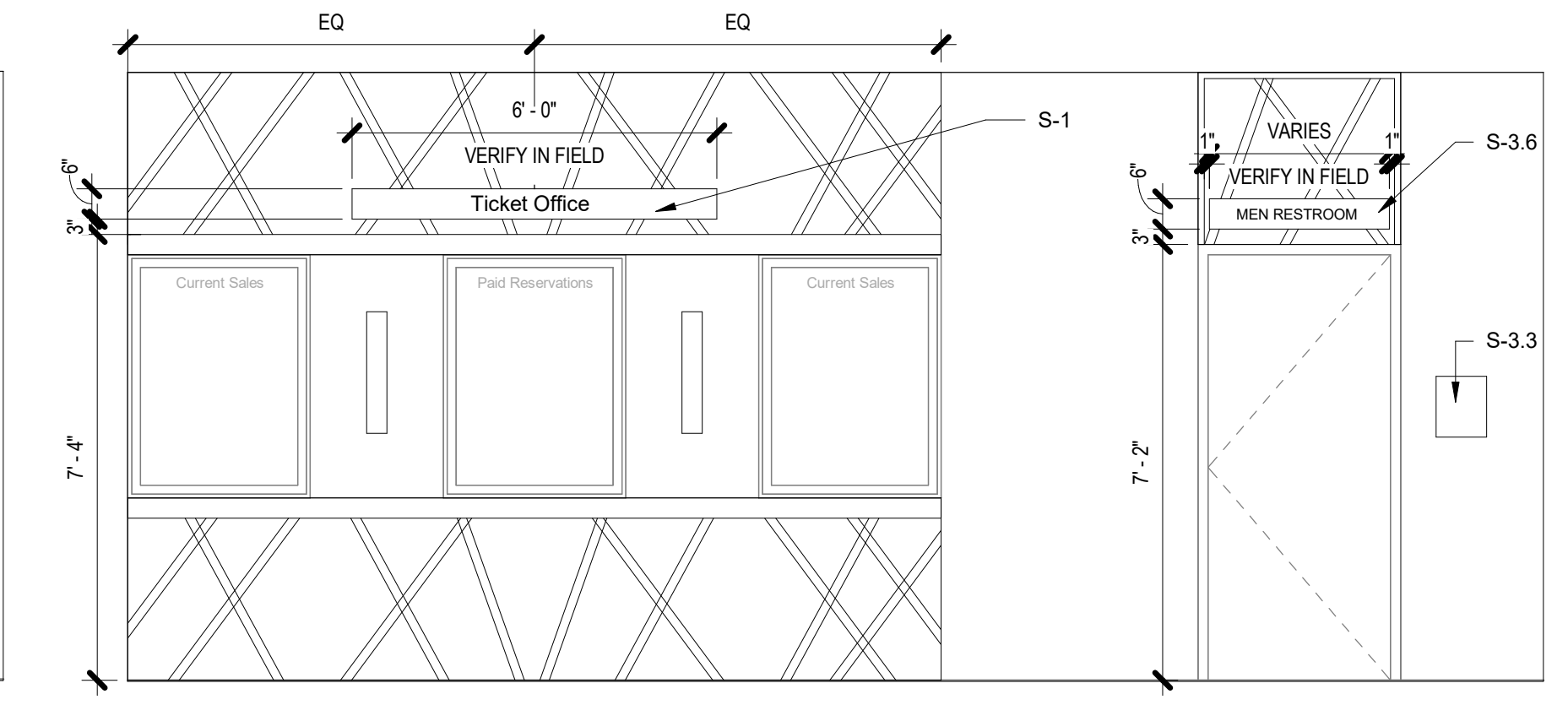
**9 INTERIOR ELEVATION (ORCHESTRA)**  
3/8" = 1'-0" 1 / 7-F&S-A



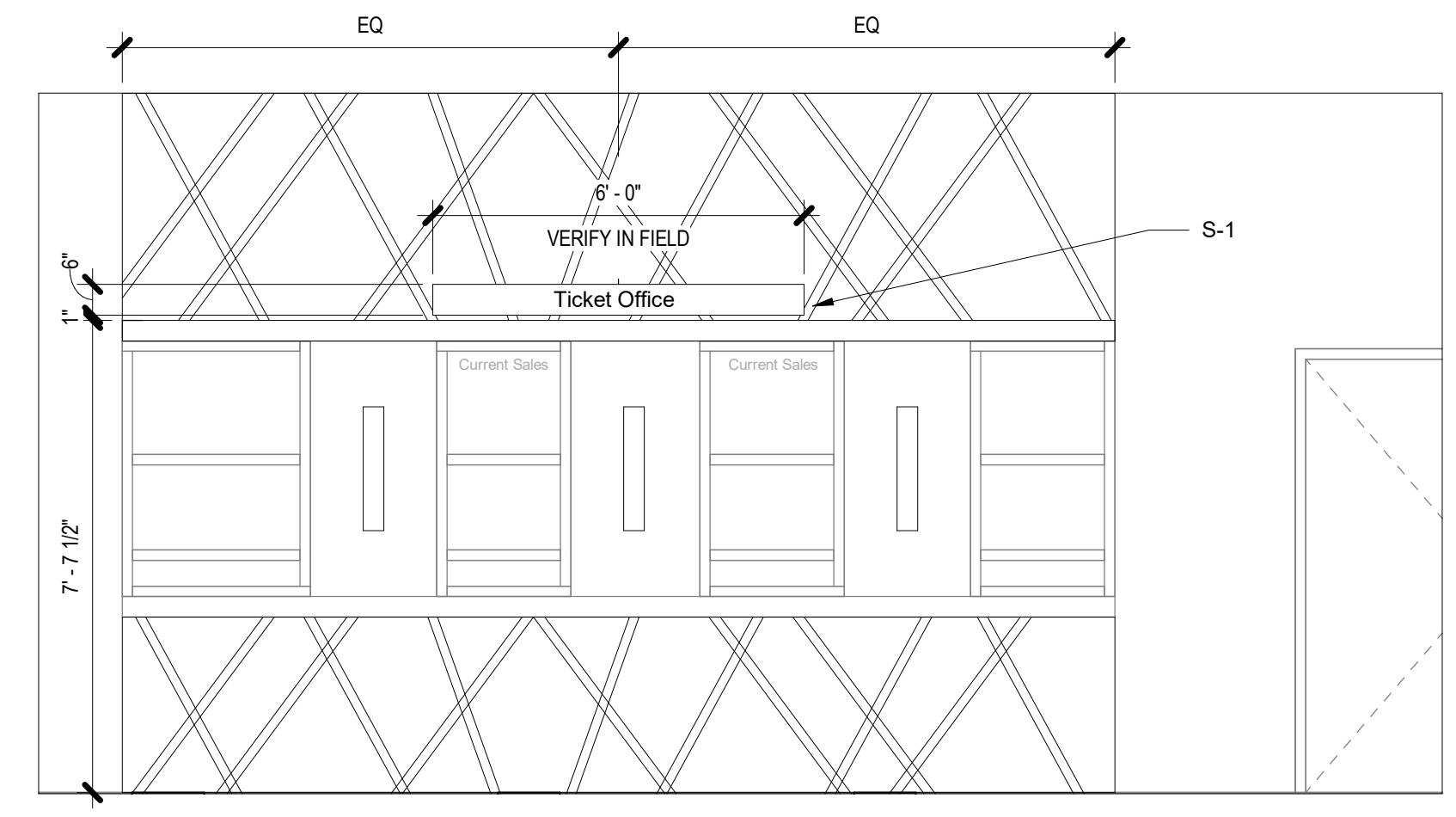
**8 INTERIOR ELEVATION (3RD ST LOBBY)**  
3/8" = 1'-0" 1 / 6-F&S-A



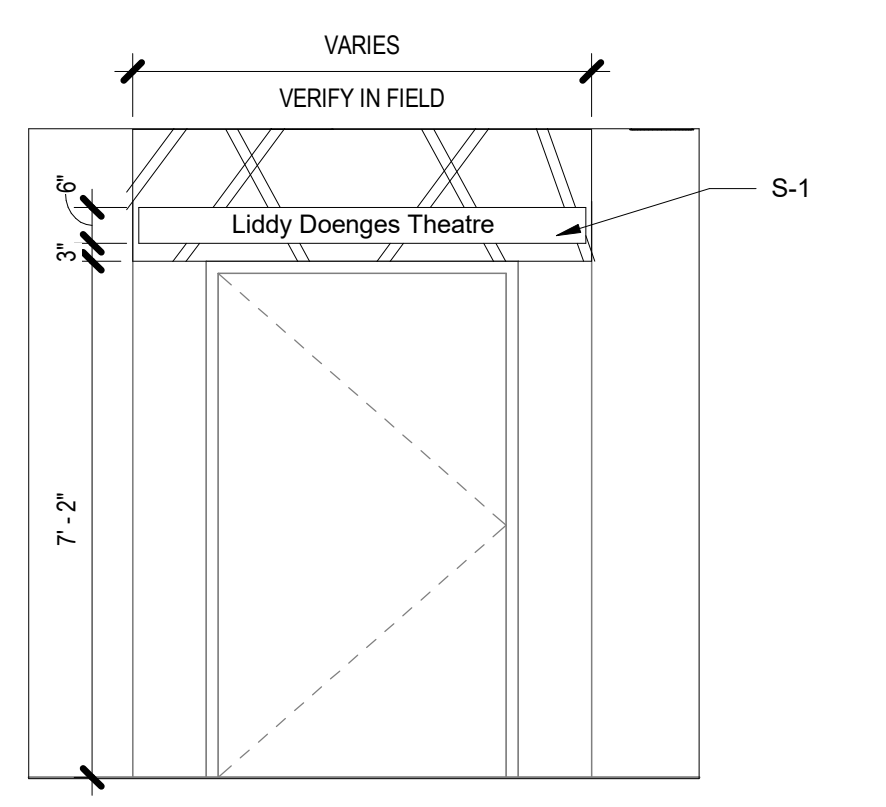
**7 INTERIOR ELEVATION (3RD STREET LOBBY)**  
3/8" = 1'-0" 1 / 6-F&S-A



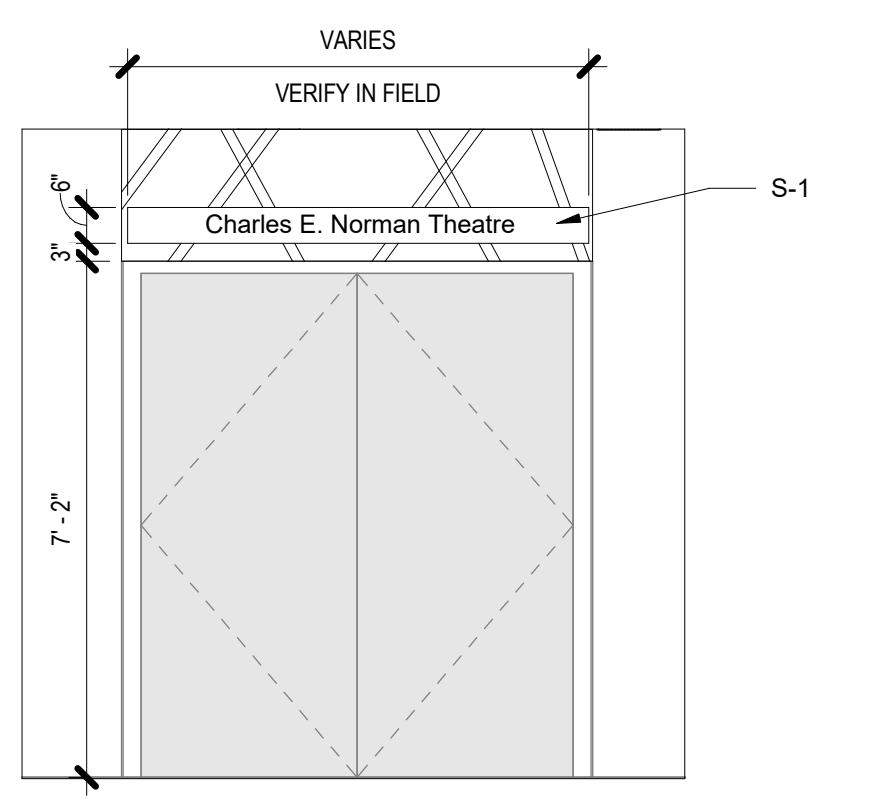
**6 INTERIOR ELEVATION (3RD STREET LOBBY)**  
3/8" = 1'-0" 1 / 6-F&S-A



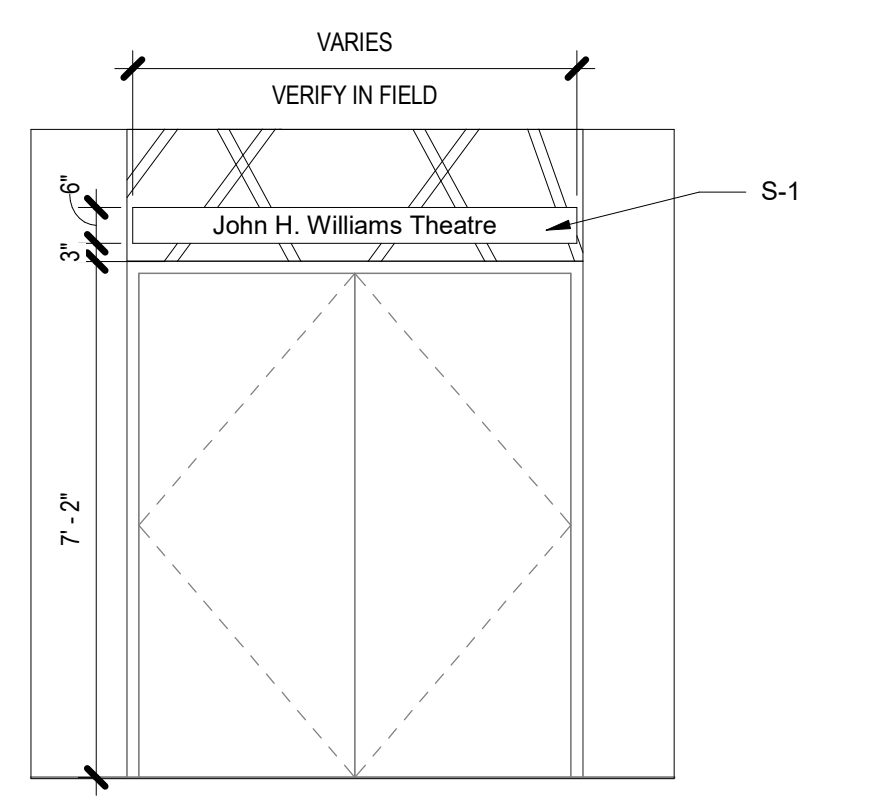
**5 INTERIOR ELEVATION**  
3/8" = 1'-0" 1 / 5-F&S-A



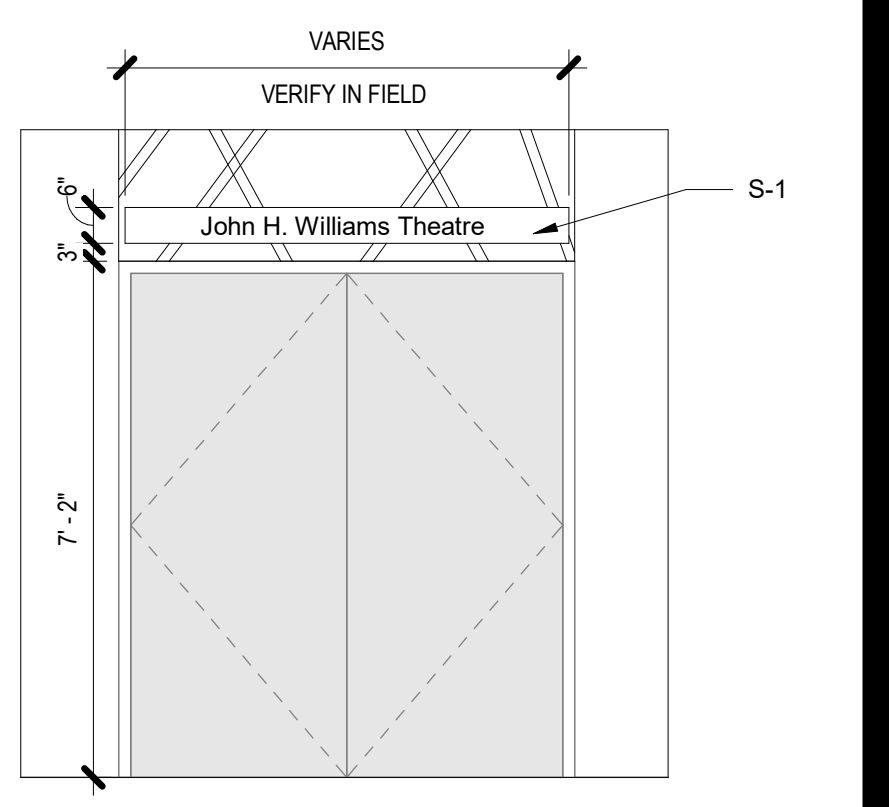
**4 INTERIOR ELEVATION**  
3/8" = 1'-0" 1 / 4-F&S-A



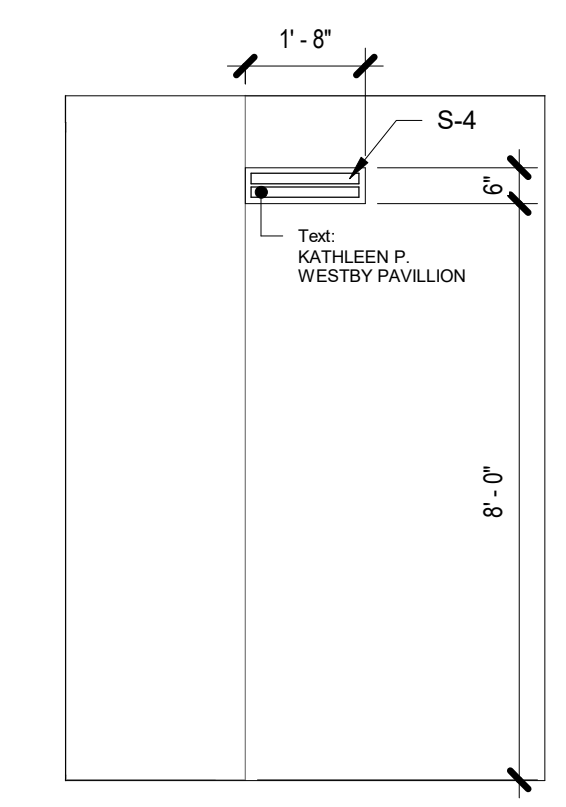
**3 INTERIOR ELEVATION**  
3/8" = 1'-0" 1 / 4-F&S-A



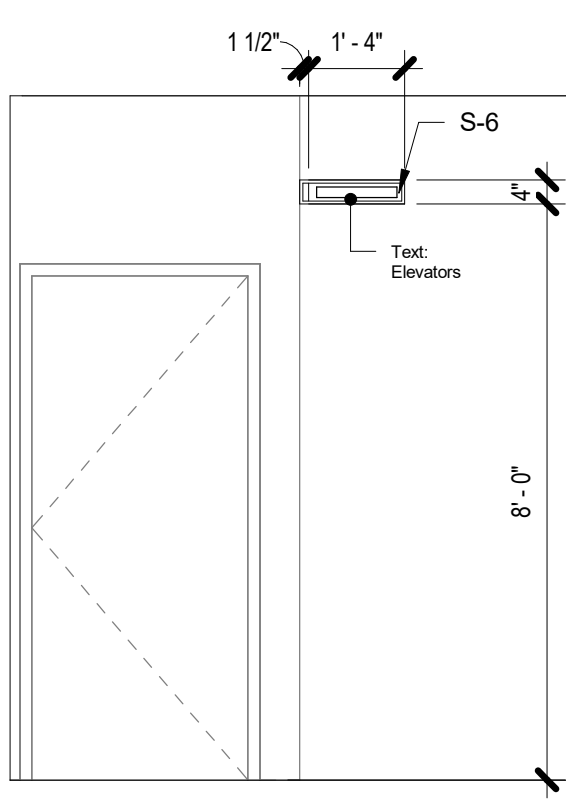
**2 INTERIOR ELEVATION**  
3/8" = 1'-0" 1 / 4-F&S-A



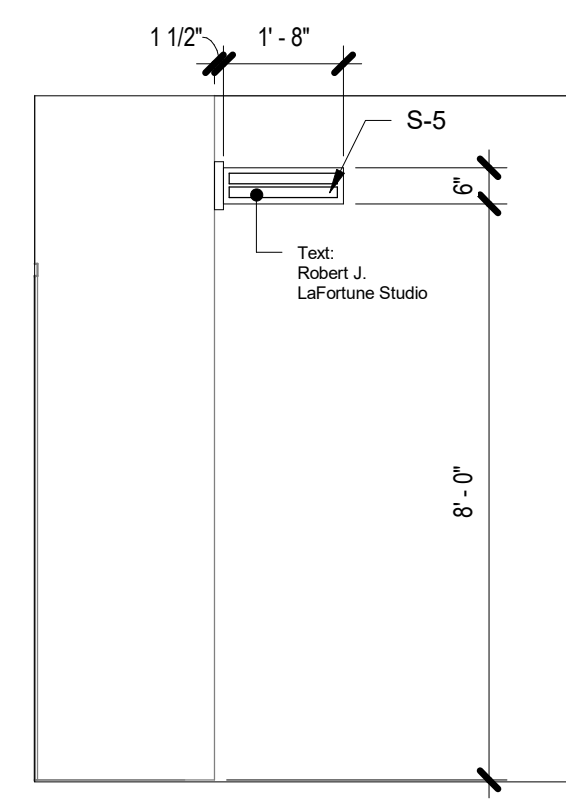
**1 INTERIOR ELEVATION**  
3/8" = 1'-0" 1 / 4-F&S-A



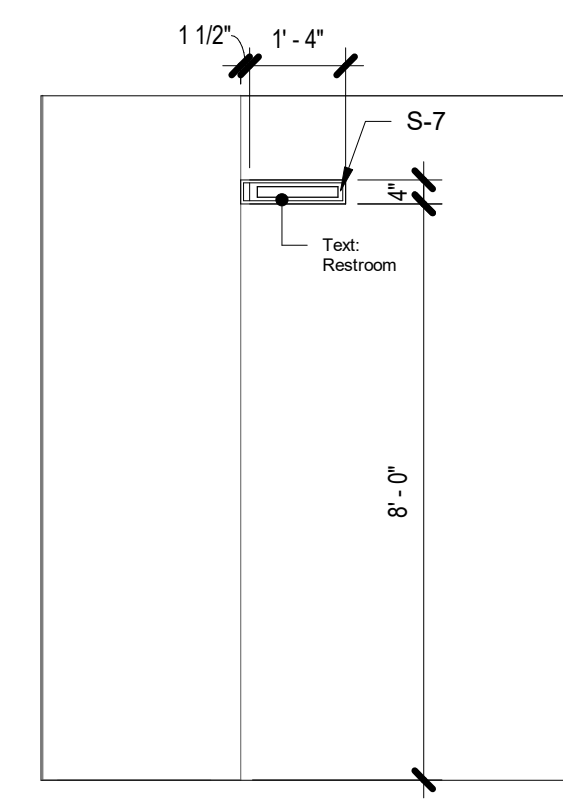
**22 INTERIOR ELEV. (PROMENADE)**  
3/8" = 1'-0" 2 / 6-F&S-A



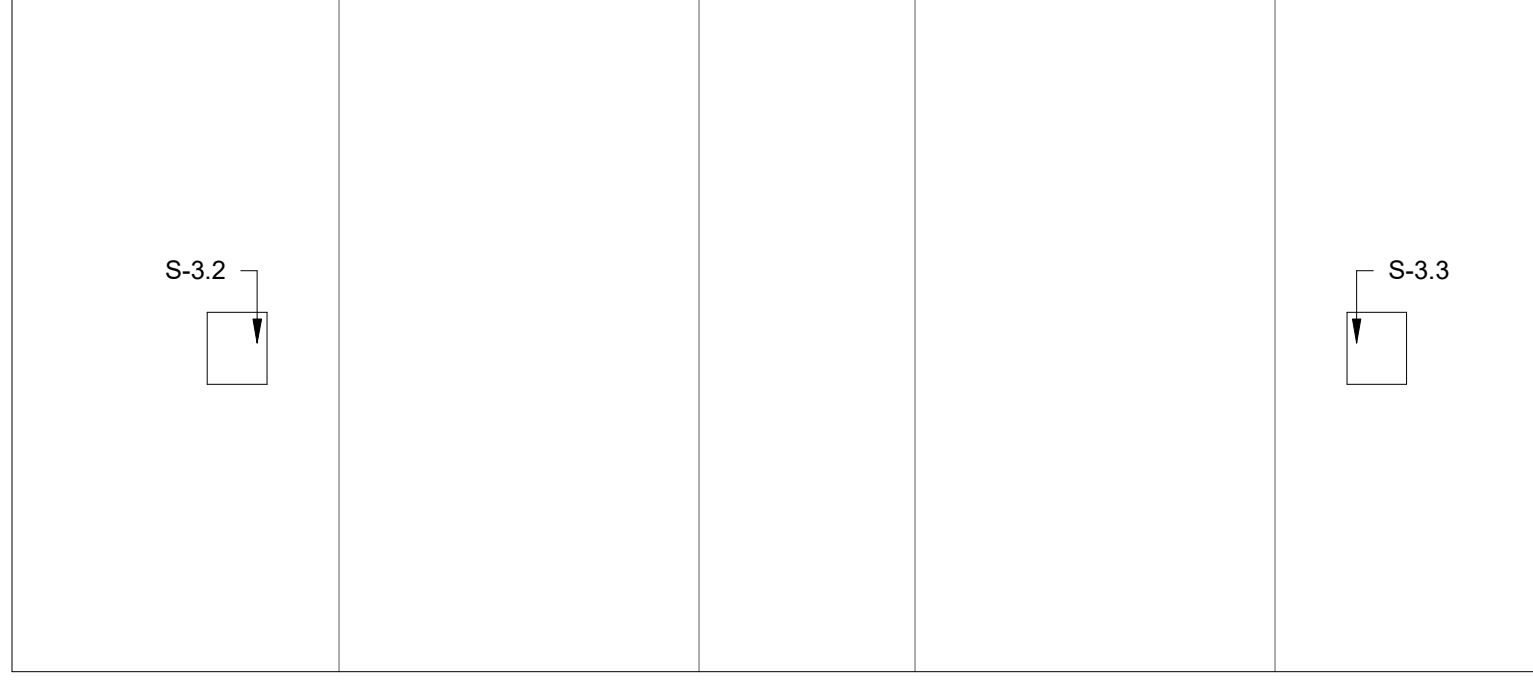
**21 INTERIOR ELEV. (PROMENADE)**  
3/8" = 1'-0" 2 / 6-F&S-A



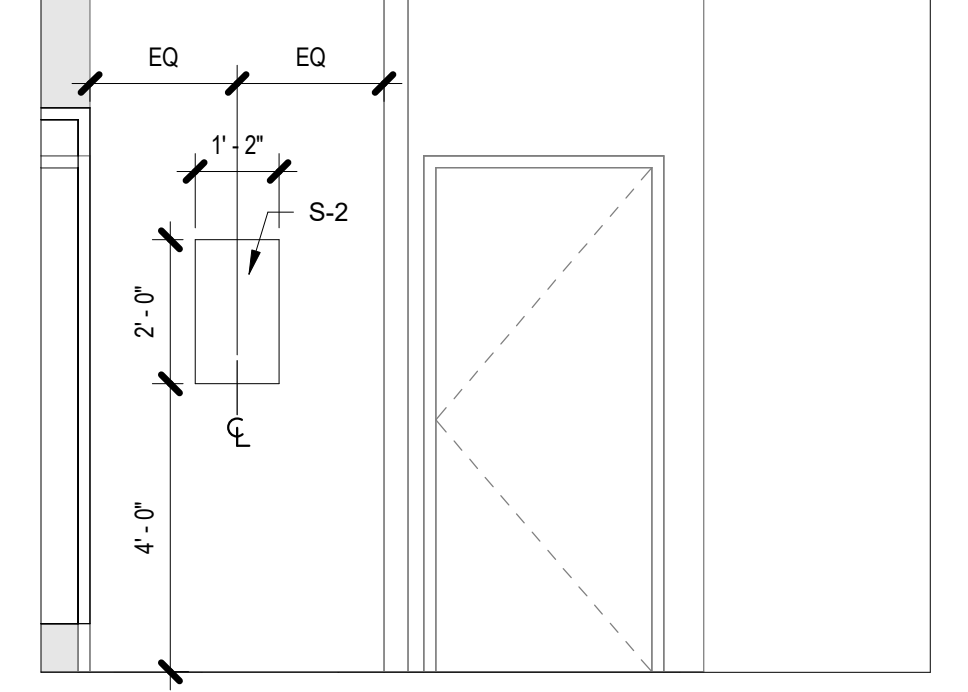
**20 INTERIOR ELEV. (PROMENADE)**  
3/8" = 1'-0" 2 / 6-F&S-A



**19 INTERIOR ELEV. (PROMENADE)**  
3/8" = 1'-0" 2 / 6-F&S-A

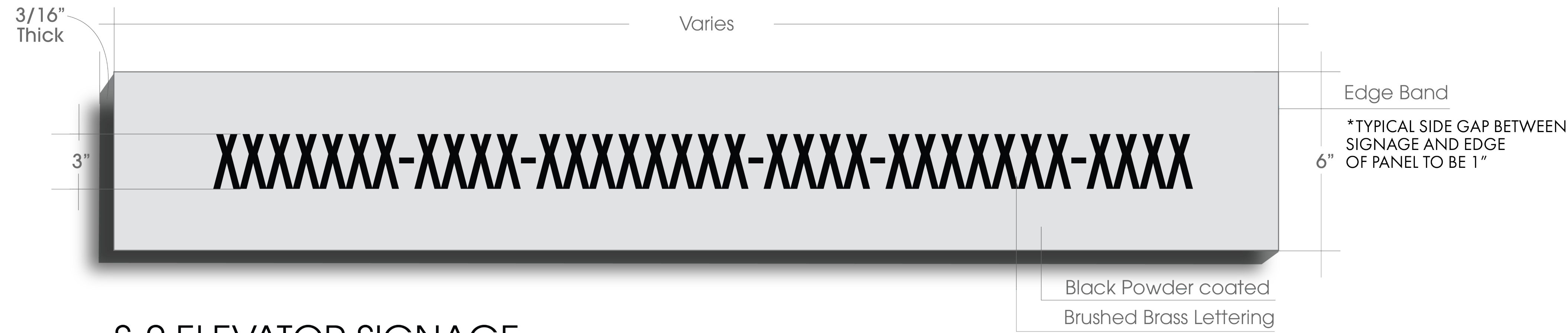


**16 INTERIOR ELEVATION (PROMENADE)**  
3/8" = 1'-0" 2 / 6-F&S-A

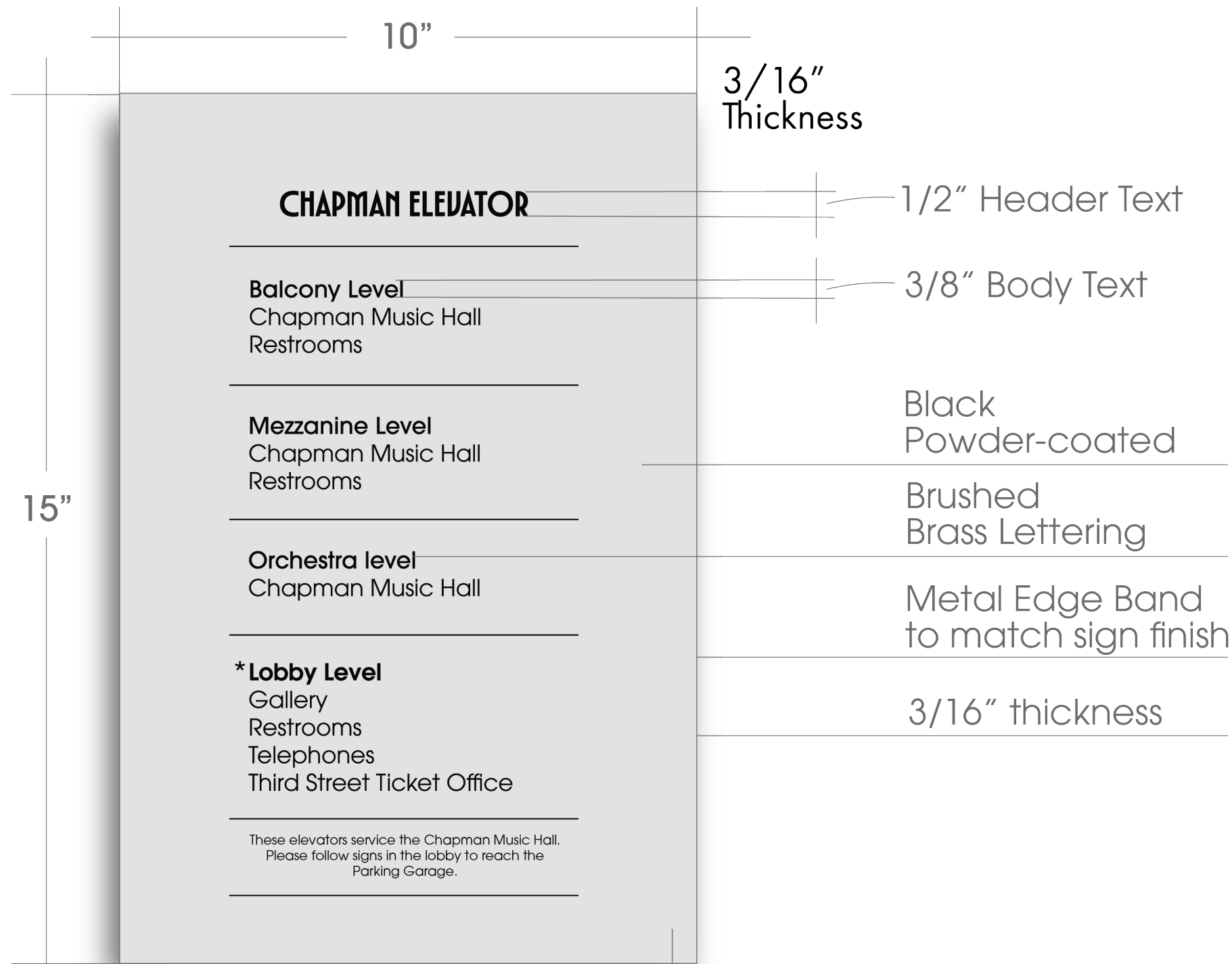


**15 INTERIOR ELEVATION**  
3/8" = 1'-0" 2 / 6-F&S-A

## S-1 RE: SIGNAGE ELEVATIONS



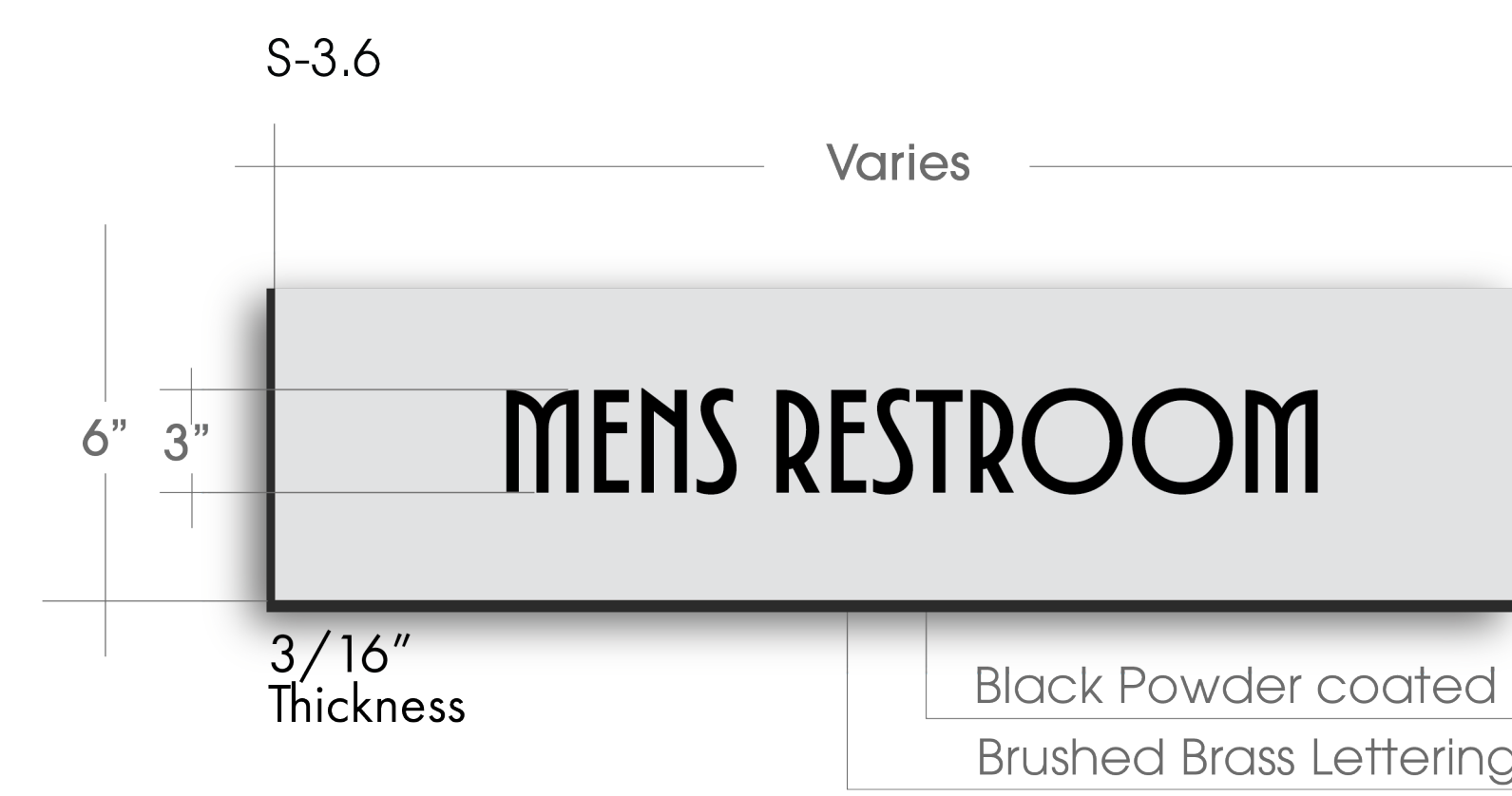
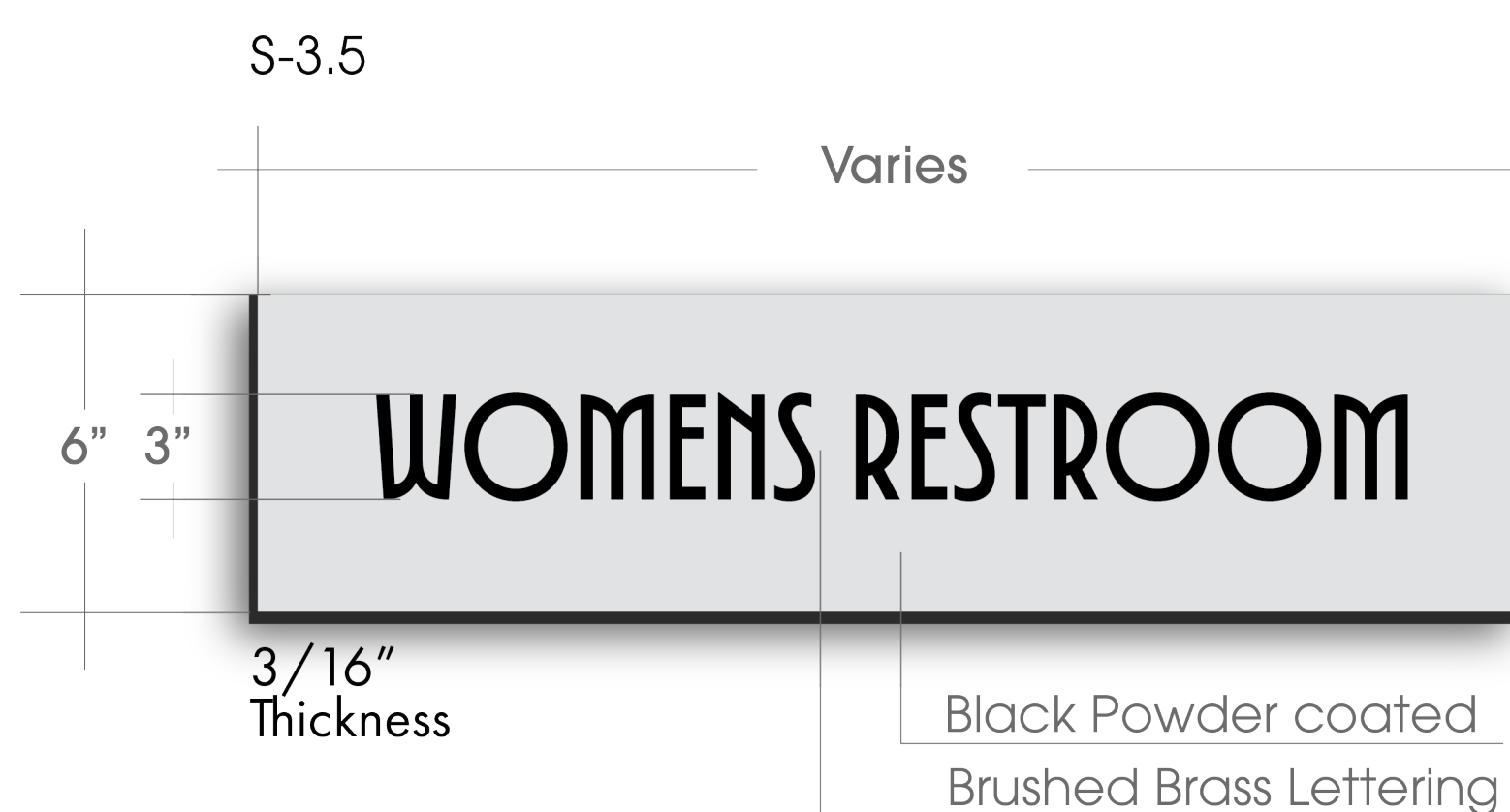
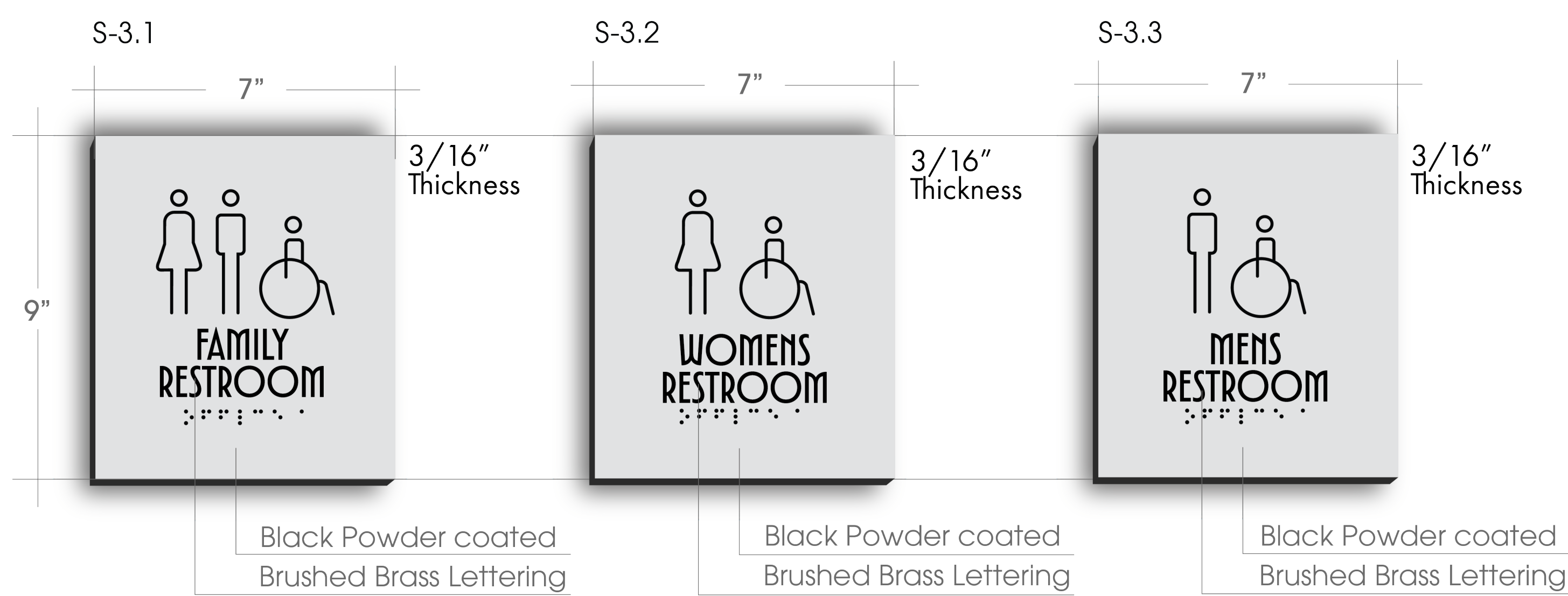
## S-2 ELEVATOR SIGNAGE



\*The asterisk will change location depending on the floor that its on. Only at the asterisk on the signage that is located outside of the elevators at each floor. Signage inside of elevator does not need and asterisk.

Elevator Signage to be Adhered

## S-3 RESTROOM SIGNAGE



\*TYPICAL GAP BETWEEN SIGNAGE AND EDGE OF PANEL TO BE 1"

LEGEND - SIGNAGE				
TAG	DESCRIPTION	SIZE	FINISH	NOTES
S-1	RE: SIGNAGE ELEVATIONS	RE: SIGNAGE ELEVATIONS	BLACK POWDER COATED ACM WITH BRUSHED BRASS LETTERING	1 1/2" CONCEALED STANDOFFS IN BLACK
S-2	ELEVATOR SIGNAGE (ELEVATORS 1-4)	10"x15"	BLACK POWDER COATED ACM WITH BRUSHED BRASS LETTERING	PROVIDE BEST INSTALLATION TO ACCOUNT FOR WEIGHT OF SIGN.
S-3	RE: SIGNAGE ELEVATIONS	RE: SIGNAGE ELEVATIONS	BLACK POWDER COATED ACM WITH BRUSHED BRASS LETTERING	PROVIDE BEST INSTALLATION TO ACCOUNT FOR WEIGHT OF SIGN.
S-3.1	FAMILY RESTROOM	9"x7"	-	TO BE ADHERED RE: NOTE 11
S-3.2	WOMENS RESTROOM	9"x7"	-	TO BE ADHERED RE: NOTE 11
S-3.3	MEN RESTROOM	9"x7"	-	TO BE ADHERED RE: NOTE 11
S-3.4	FAMILY RESTROOM	RE: SIGNAGE ELEVATIONS	-	TO HAVE CONCEALED STANDOFFS IN BLACK. RE: NOTE 11
S-3.5	WOMENS RESTROOM	RE: SIGNAGE ELEVATIONS	-	TO HAVE CONCEALED STANDOFFS IN BLACK. RE: NOTE 11
S-3.6	MEN RESTROOM	RE: SIGNAGE ELEVATIONS	-	TO HAVE CONCEALED STANDOFFS IN BLACK. RE: NOTE 11
S-4	WESTBY PAVILLION SIGNAGE (PROMENADE)	RE: SIGNAGE ELEVATIONS	BLACK POWDER COATED ACM WITH BRUSHED BRASS LETTERING. BOTH SIDES.	COUNTERSUNK PIN MOUNTED IN BRUSHED BRASS TO MATCH BRACKET. BLOCKING REQUIRED.
S-5	LA FORTUNE SIGNAGE (PROMENADE)	RE: SIGNAGE ELEVATIONS	SIGNAGE LETTERS TO BE ILLUMINATED ON BOTH SIDES.	COUNTERSUNK PIN MOUNTED IN BRUSHED BRASS TO MATCH BRACKET. BLOCKING REQUIRED.
S-6	ELEVATORS (PROMENADE)	RE: SIGNAGE ELEVATIONS	BLACK POWDER COATED ACM WITH BRUSHED BRASS LETTERING. BOTH SIDES.	COUNTERSUNK PIN MOUNTED IN BRUSHED BRASS TO MATCH BRACKET. BLOCKING REQUIRED.
S-7	RESTROOMS (PROMENADE)	RE: SIGNAGE ELEVATIONS	BLACK POWDER COATED ACM WITH BRUSHED BRASS LETTERING. BOTH SIDES.	COUNTERSUNK PIN MOUNTED IN BRUSHED BRASS TO MATCH BRACKET. BLOCKING REQUIRED.
S-8	DOOR SIGNAGE	18"x24"	BLACK POWDER-COATED ACM WITH SLIDING CLEAR THIN ACRYLIC PANEL. BACK PANEL THICKNESS TO BE STABLE. OWNER TO PROVIDE SIGNAGE INSERT SHEET.	INSTALL TO MATCH EXISTING
S-9	INDIVIDUAL LETTERS	TO MATCH EXISTING	TO MATCH EXISTING	INSTALL TO MATCH EXISTING

NOTE:  
 1. ALL SIGNAGE SHALL MEET MINIMUM ACCESSIBILITY REQUIREMENTS AS DEFINED IN THE INTERNATIONAL BUILDING CODE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ANSI A117.1, 2009.  
 2. VERIFY SIGNAGE ROOM NUMBERS AND NAMES WITH ARCHITECT.  
 3. VERIFY DIMENSIONAL LETTER SIGNAGE WITH ARCHITECT.  
 4. AT INSTALLATION CONTRACTOR TO REPAIR HOLES AS NEEDED IN WALL AND PANELS.  
 5. CONTRACTOR TO VERIFY SIGNAGE LOCATION WITH ARCHITECTS.  
 6. COORDINATE SIGNAGE FONT WITH ARCHITECT (FONT TO BE: TT MODERNOIR), ONLY S-9 TO MATCH EXISTING FONT.  
 7. COORDINATE NAMING WITH ARCHITECT AND CLIENT, IT SHOULD BE SIMILAR TO EXISTING.  
 8. AT PROMENADE AREA, VERIFY IF THERE IS A CONFLICT WITH ARTWORK, COORDINATE HEIGHT AND PLACEMENT WITH ARCHITECT BEFORE INSTALLATION.  
 9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING SIGNAGE QUANTITIES NEEDED.  
 10. MOCK-UP OF SIGNAGE TO BE PROVIDED  
 11. CONTRACTOR RESPONSIBLE FOR INSURING ADEQUATE INSTALLATION FOR SIGNAGE ACCORDING TO THEIR WEIGHT AND STABILITY REQUIREMENTS.

beck  
DESIGN

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 110 WEST SEVENTH, SUITE 710  
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**NEW YORK CITY**  
 287 PARK AVENUE SOUTH  
 NEW YORK, NY 10010  
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PROJECT NO:  
**PR 25-14**

BECK NO:  
**202513.2**

PROJECT:  
**TPAC FINISH AND SIGNAGE IMPROVEMENTS IOT1**

TULSA PERFORMING ARTS CENTER  
**TPAC**  
ARTS. ELEVATED.

CONSULTANT:

ISSUE / REVISION:

No	Description	Date

SEAL:

**CONSTRUCTION DOCUMENTS**

ISSUE DATE:  
**03.09.2026**

SHEET NUMBER:  
**11-F&S-D**

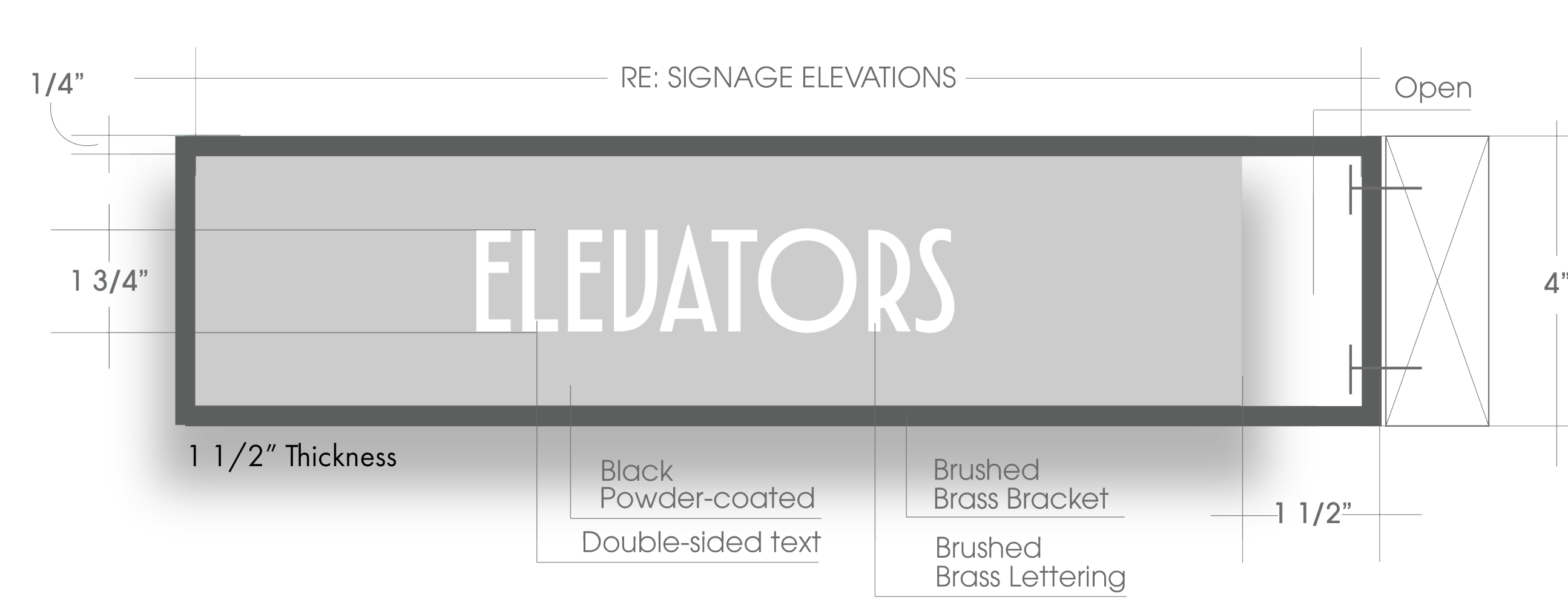
SIGNAGE LEGEND AND SIGNAGE DESIGN

S-4 PROMENADE SIGNAGE



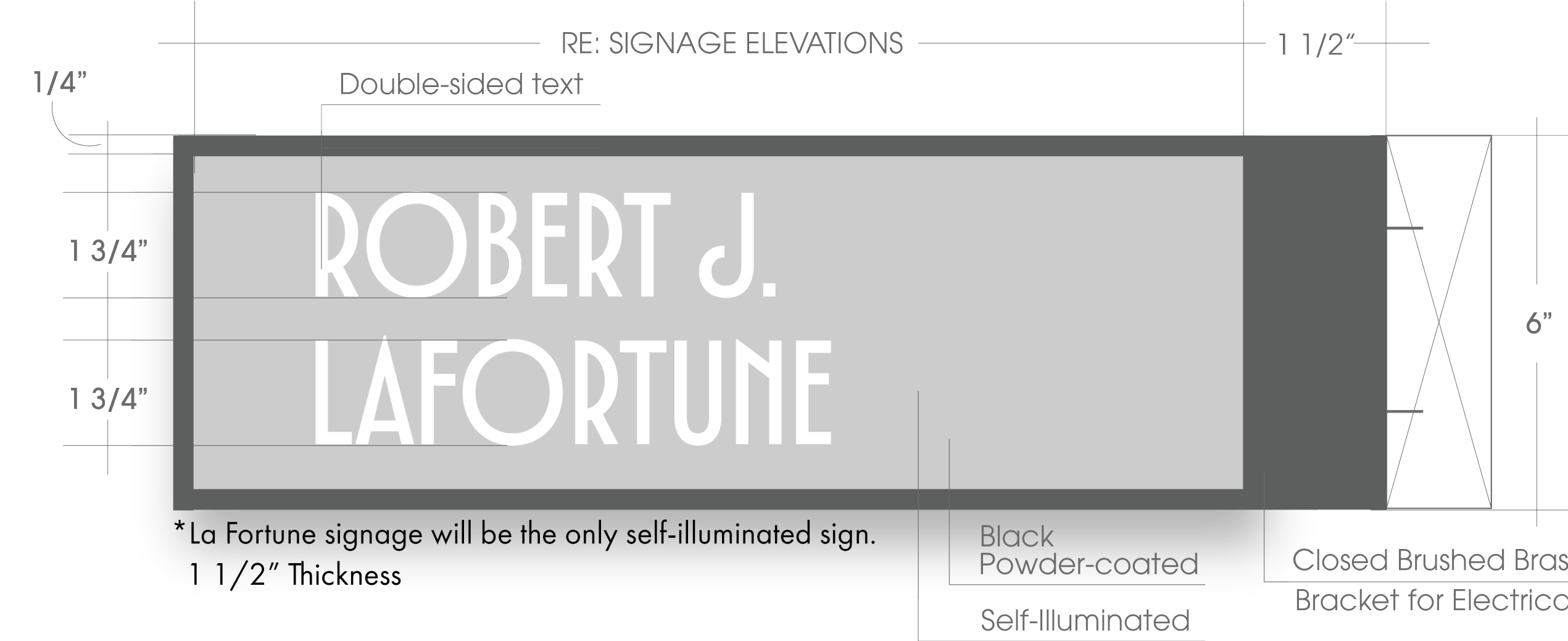
Blocking required for all projecting signage. Heavy-Duty fasteners to match brushed brass mounting bracket.

S-6 PROMENADE ELEVATORS



Blocking required for all projecting signage. Heavy-Duty fasteners to match brushed brass mounting bracket.

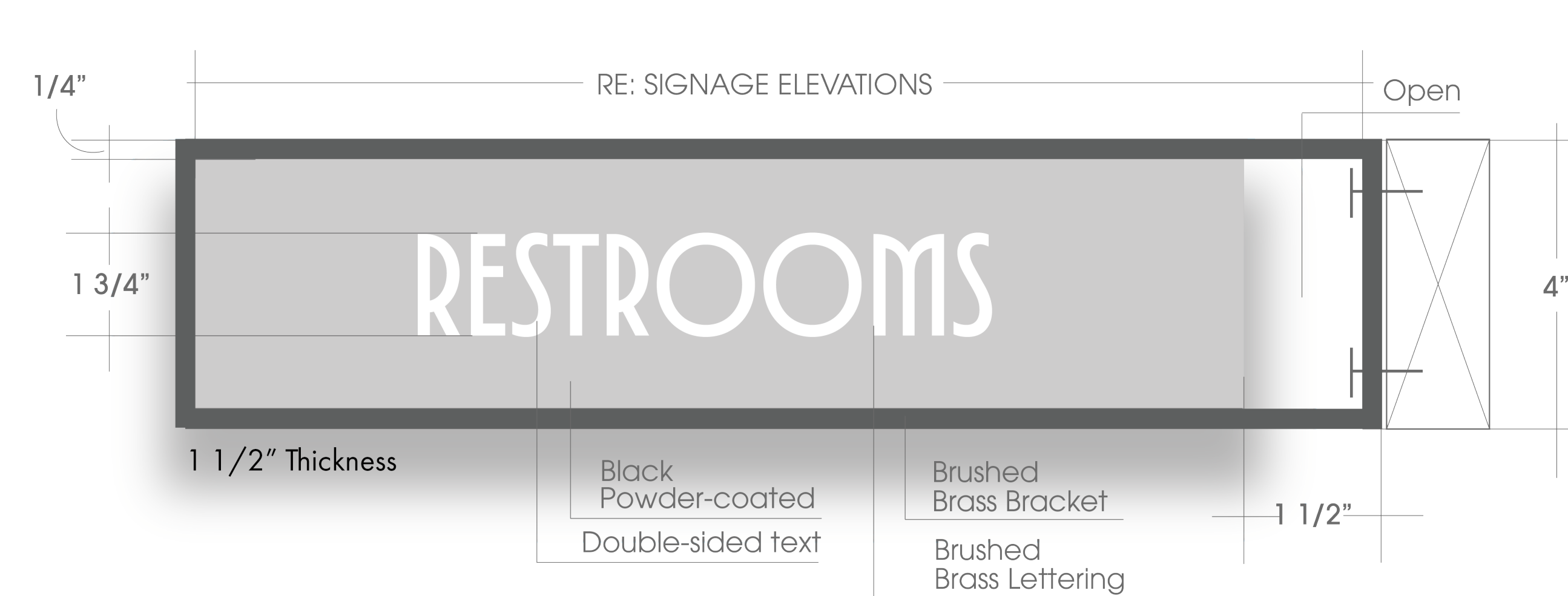
S-5 LAFORTUNE SIGNAGE



Blocking required for all projecting signage. Heavy-Duty fasteners to match brushed brass mounting bracket.

\*La Fortune signage will be the only self-illuminated sign.

S-7 PROMENADE RESTROOMS



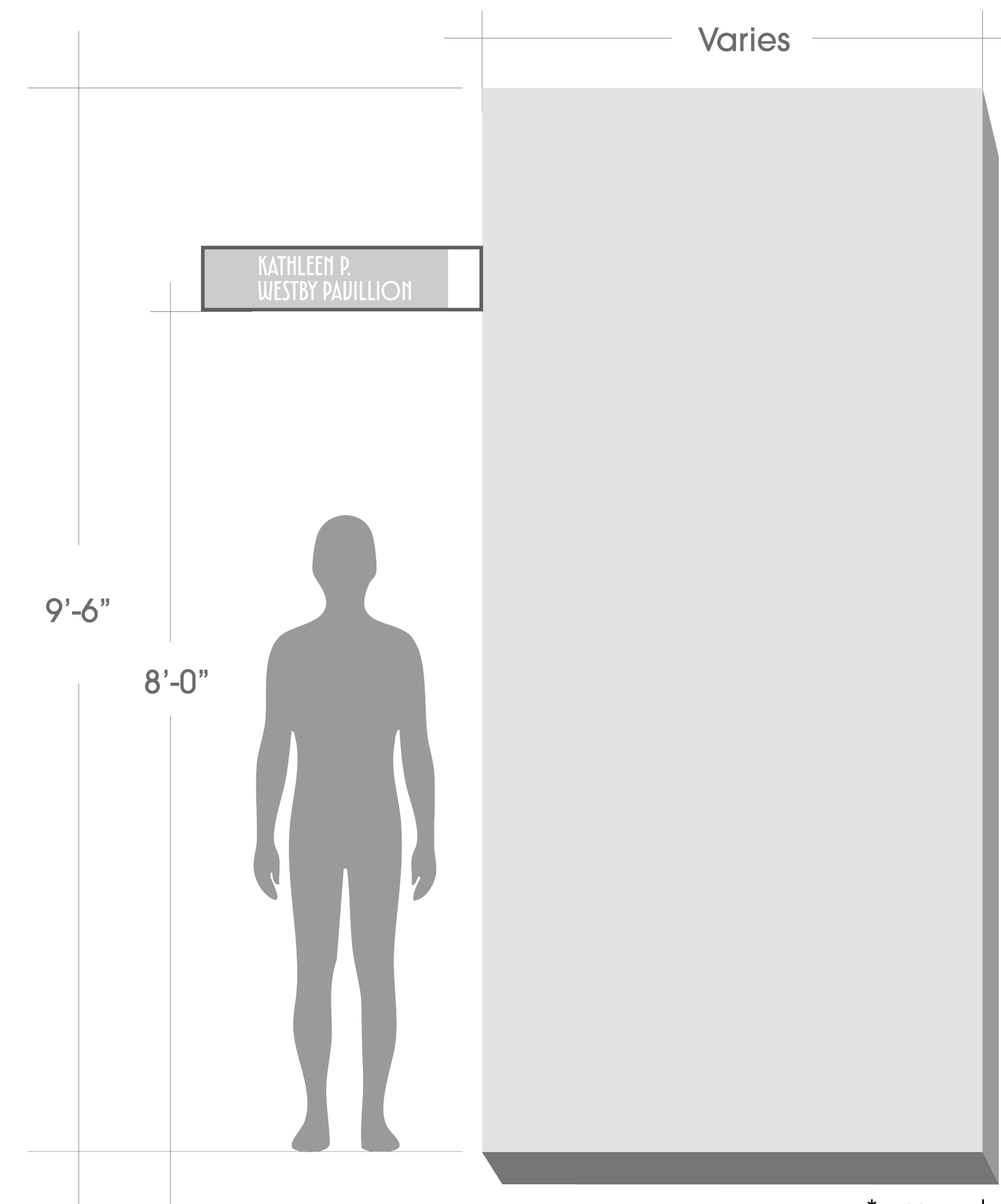
Blocking required for all projecting signage. Heavy-Duty fasteners to match brushed brass mounting bracket.

S-8 DOOR SIGNAGE



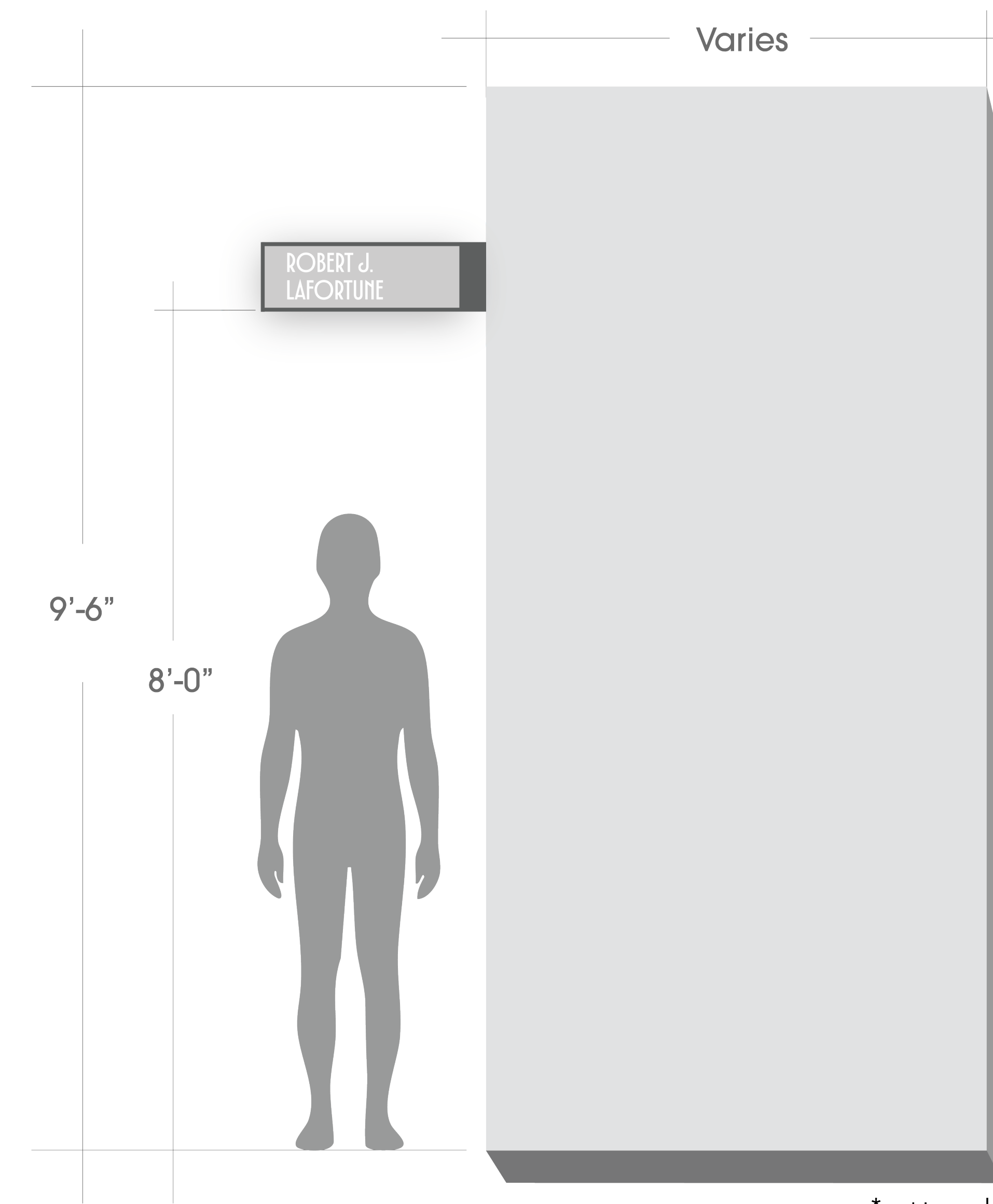
\*Pocket for Changeable Information

S-4 PROJECTING SIGNAGE WALL MOUNT



\*not to scale  
\*location to be verified in field

S-5 PROJECTING SIGNAGE WALL MOUNT



\*not to scale  
\*location to be verified in field



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IOT1



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SIGNAGE DESIGN