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CONSTRUCTION PLANS FOR ROOF REPLACEMENT TULSA PERFORMING ARTS CENTER

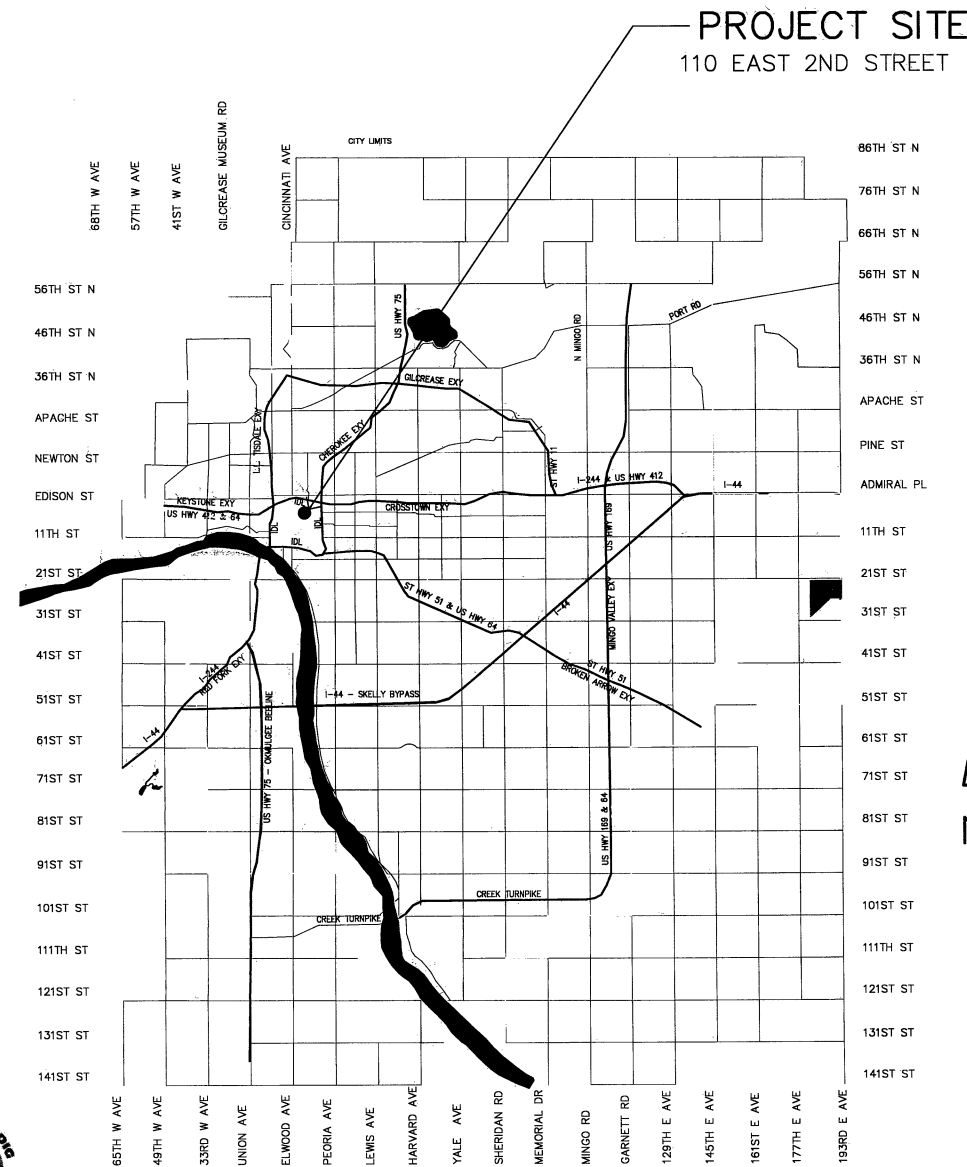
110 EAST 2ND STREET
TULSA, OKLAHOMA

PROJECT NO. 145380
ACCOUNT NUMBER: 145380 . BUILDINGS - 4053122-541104

CITY OF TULSA OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA ORDINANCES, ENGINEERING SERVICES STANDARDS SPECIFICATIONS AND STANDARD DETAILS. (CITY OF TULSA ORDINANCE AND CODES AMENDMENTS SUPERCEDE NATIONAL CODES)
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL STRUCTURES, LANDSCAPING, PAVING AND ANY OTHER ITEMS LOCATED WITHIN AND OUTSIDE THE WORK AREA. ANY DAMAGE TO PERMANENT ITEMS INCURRED BY THE CONTRACTOR THROUGH HIS WORK IN THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION, BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. CONTRACTORS WILL COORDINATE WITH IDENTIFIED MAINTENANCE OPERATIONS PERSONNEL FOR APPLICATION, SHUT OFF AND REMOVAL OF ALL UTILITIES.



UTILITY COORDINATION BOX		
	NUMBER	NOTIFIED
ENGINEERING SERVICES		
WATER DESIGN	918-596-9566	
WASTEWATER DESIGN	918-596-9564	
TRANSPORTATION DESIGN	918-596-9636	
TRAFFIC ENGINEERING DESIGN	918-596-9749	
STORMWATER DESIGN	918-596-9498	
OKLAHOMA NATURAL GAS CO.	918-831-8293	
COX COMMUNICATIONS	918-286-4666	
PUBLIC SERVICE CO. / AEP	918-599-2233	
AT&T	918-576-2142	
BUILDING MAINTENANCE & OPERATIONS	918-576-9389	



PLANS PREPARED BY:

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06/25/2020

DATE/STAMP/SIGNATURE



CITY OF
Tulsa
A New Kind of Energy™

APPROVED BY

[Signature]
CITY ENGINEER

7/1/20

DATE

GENERAL SCOPE OF WORK

- REMOVE ROOF SYSTEM, INSULATION, WOOD BLOCKING AND FLASHING DOWN TO STRUCTURAL DECK - UNO.
- REMOVE ROOF HATCHES, SMOKE VENTS AND SECURELY STORE FOR REINSTALLATION.
- REMOVE PARAPET CAP FLASHING.
- REMOVE MISCELLANEOUS EQUIPMENT.
- INSTALL NEW POLY ISO INSULATION TO ACHIEVE R-VALUE OF R-25 (UNO), NEW 1/4" DENS DECK, NEW FULLY ADHERED 80 MIL TPO MEMBRANE ROOF, ASSOCIATED FLASHING, WATERPROOFING PARAPET MEMBRANE AND CAP FLASHING.
- REINSTALL EXISTING RTU AND RUN CONDENSATE PIPING.
- REPLACE LADDER.
- INSTALL LADDER SAFETY POST.
- MISCELLANEOUS REPAIRS.

UNIT KEY

EA	EACH
LF	LINEAR FEET
SF	SQUARE FEET
SQ	SQUARE (100 SQUARE FEET)
WK	WEEK
ALLOW	ALLOWANCE

PAC - ROOF REPLACEMENT
Unit Price Schedule

Project location: 110 East 2nd street, Tulsa, OK
Project Number: 145380

ITEM NO.	SPEC NO.	DESCRIPTION	UNIT	TOTAL
1	Div One	General Requirements	A EA	1
2	012100	Owner Allowances	B ALLOW	1
3	013100	Equipment rental (crane)	C WK	9
4	024119	Demolition of existing roof system	D EA	1
5	055100	Installation of new roof access ladders	E EA	1
6	061053	Misc wood rough capentry	F LF	2,052
7	075423	Installation of new roofing system (including all parapets/flashings)	G EA	1
8	077100	Downspout and collector box	H EA	6
9	077100	Overflow scuppers	I EA	4
10	077213	Re-install roof curbs	J LF	27
11	079200	Replacement of joint sealants	K LF	1,000
12	099000	Painting	L SF	1,627
13	221000	Condensate piping	M LF	40
14	221426	Remove existing roof drains	N EA	26
15	221426	Install new and replace existing roof drains	O EA	32
16	260500	Remove and reinstall electrical	P LF	150

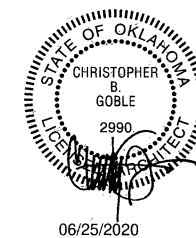
PAY ITEM NOTES

A	Division One: General Conditions and miscellaneous direct and indirect Project costs required by the Contract Documents but not listed as a specific Unit Price Pay Item in the Proposal. Includes, but is not limited to: General Conditions covering miscellaneous non-staffing costs directly related to the Project, such as job trailer, mobilization, permit fees (other than Building Permit provided by City of Tulsa), temporary utilities, permanent utility connection fees, barriers, scaffolding, equipment rental, cleaning and dumpsters, etc. Each Unit Price will be deemed to include an amount considered by the Contractor to be adequate to cover Contractor's overhead and profit for each separately identified item.
B	Allowance to be included in the contract amount for additional scope of work to be performed by the Contractor not explicitly defined in the contract documents. Funds to be utilized only at the discretion of the Owner and must be agreed upon in written documentation between the Owner and Contractor. Any work performed by the Contractor not agreed upon in writing will be at Contractor risk. Any remaining balance will be credited back to the Owner by the Contractor upon final completion of Project.
C	Demolish existing roofing system down to structural deck. Remove roofing/flashings from parapets and other substrates. Remove existing fascia and trim. Remove all wood cants, blocking, and nailers. Remove all existing fasteners. Remove existing roof hatches and smoke vents to be stored for re-use. Recycle waste materials where possible. Properly dispose of materials that cannot be recycled in approved landfill. Contractor shall examine existing substrate(s) and adjacent materials for rust, damage, or other areas of concern which could prevent successful application of new roofing system. Notify Architect if areas of concern exist.
D	Furnish and install access ladder from high roof to lower roofs on either side. Furnish and install all materials, equipment, labor for complete installation ready for intended use in accordance with Drawings and Specifications.
E	Furnish and install materials for all miscellaneous rough carpentry including all wood framing, blocking, nailers and fasteners intended use in accordance with Drawings and Specifications.
F	Furnish and install new membrane roofing system. Including, but not limited to, single ply membrane, fully-adhered to cover board, and insulation as specified in referenced specification sections. Includes roofing system and components; all roofing specialties, all copings and manufactured roof edge fascia system. Includes all labor, equipment, and materials required for a complete installation of a fully waterproof and warranted membrane roofing system.
G	Existing roof hatches and smoke vents are to be reconditioned to operate like new before they are reinstalled. Provide wood blocking under the curbs to bring the height up to accommodate the additional thickness of the new insulation. Reinstall in the original configuration. Paint as prescribed in the construction documents.
H	Remove all existing joint sealants. Clean and prepare surfaces and substrates for joint sealant application. Seal all masonry/precast panels where cracks or settlement has occurred. Provide all labor, equipment and materials as required for complete preparation and installation of Joint Sealants
J	Clean and prepare surfaces and substrates for paint systems application. Paint areas as indicated on Drawings. Perform the Work in strict accordance with the Drawings, specifications and manufactures recommendations as required for a complete installation.
K	Remove existing and install new condensate piping as indicated on the construction documents. Includes all labor, equipment and materials as required for a complete installation. Support condensate lines as required.
L	Install new overflow scuppers. Core drill existing precast concrete panels as to avoid any panel reinforcing. Make installation water tight in accordance with the construction documents.
M	Remove existing roof drains replace with new roof drains as indicated on the drawings and as specified. Make necessary adjustments to install to existing plumbing.
N	New drains are added to roof #7. Provide piping under structure to tie in to the existing drain lines at the center of roof #7. Includes all labor, equipment and materials as required for a complete installation.
O	Provide sheet metal overflow scuppers as indicated on the construction documents. Terminate scupper downspouts to splash blocks at the lower roof and provide an 8' walkpad under the splash block and in the downflow direction to the appropriate drain.
P	Remove all existing roof top electrical conduit, antenna, security cameras and blocking used for supports. Provide and install weather tight conduit, disconnects, junction boxes, wire, conduit supports and new weather heads for complete installation of the equipment. Verify that all reinstalled equipment is in good operating condition. Coordinate any disruption of operation of the equipment with operations. Provide all labor, equipment, and materials required to disconnect and reconnect electrical services to all equipment. Restore equipment to operation as quickly as possible.
Q	BRAND SPECIALIZED EQUIPMENT FOR DEMOS REMOVAL AND MOVING MATERIAL TO HIGHER ROOFS. MAY INCLUDE CRANE RENTAL DURING CERTAIN TIMES OF THE CONSTRUCTION.

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND QUANTITIES.
2. COORDINATE ANY DISRUPTION OF SERVICES OR OPERATIONS WITH CITY CONSTRUCTION MANAGER.
3. THE LISTED QUANTITIES ARE ONLY AN ESTIMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE SUBMISSION OF HIS BID AND TO THE COMMENCEMENT OF ANY WORK. NO ADDITIONAL COMPENSATION WILL BE PAID DUE TO THE CONTRACTOR'S FAILURE TO ACQUAINT HIMSELF WITH EXISTING SITE CONDITIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO QUANTITY AND EXTENT OF SURFACES AND MATERIALS OR UTILITIES.

SYMBOLS LEGEND



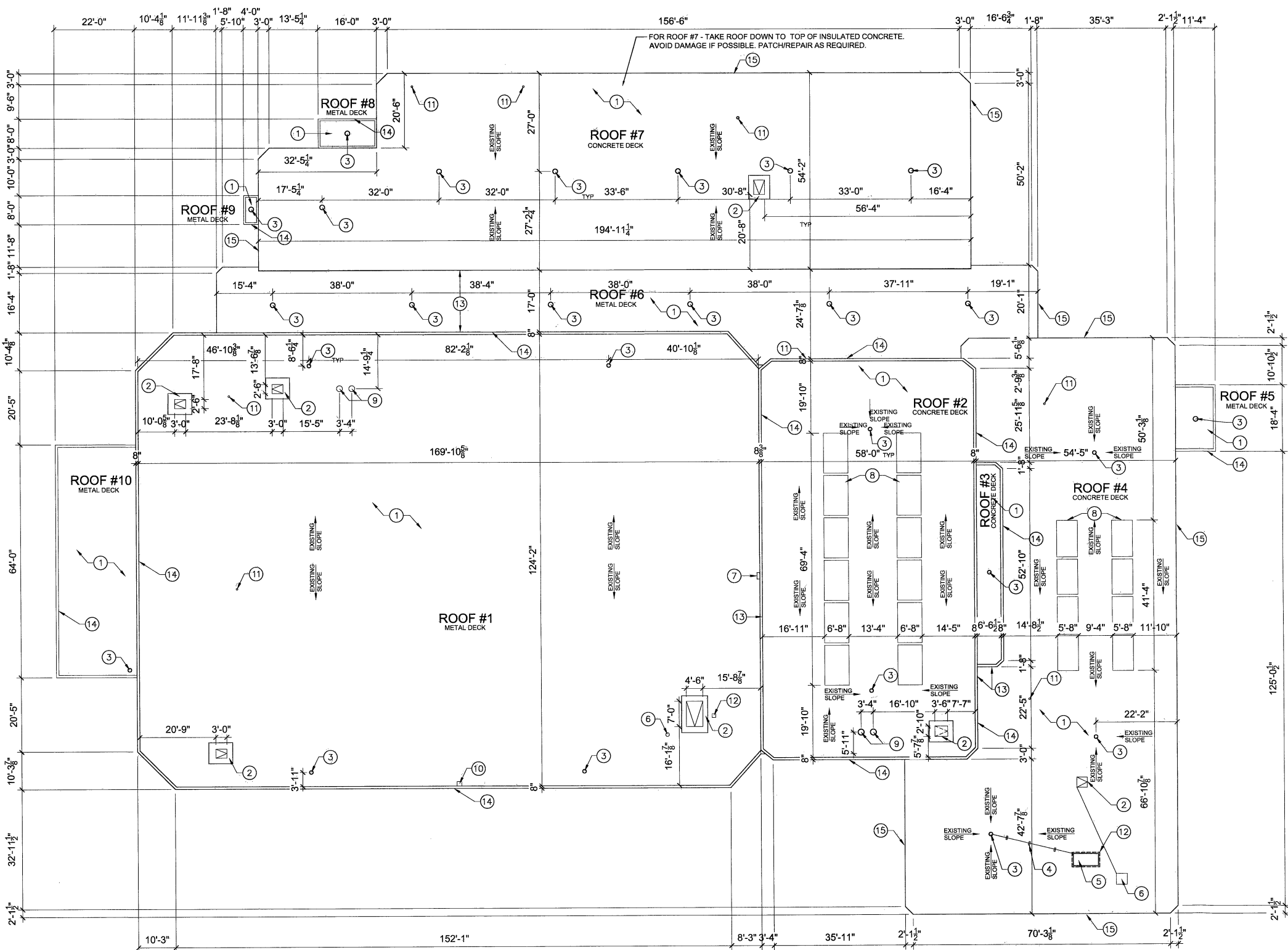
ROOF REPLACEMENT
TULSA PERFORMING ARTS CENTER

PROJECT NO.:145380

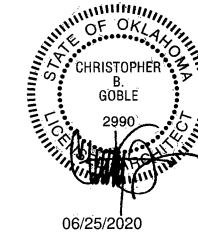
CITY OF TULSA, OKLAHOMA
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MK	REVISION	BY	DATE	PLAN SCALE:	DRAWN	edm 6/2020	APPROVED:
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					SURVEY	N/A	
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				HORIZONTAL:	FIELD MGR.	edm 6/20	 CITY ENGINEER
				1" =	RECOMMENDED:	edm 6/20	
				VERTICAL:	DESIGN MANAGER		DATE:
				1" =	FILE:	DRAWING:	6.26.20
				ATLAS PAGE NO:			SHEET 2 OF 8 SHEETS
				SHEET NAME:	SUMMARY OF PAY ITEMS		SHEET NO. G001



- GENERAL NOTES**
- REMOVE EXISTING ROOF SYSTEM, INSULATION, WOOD BLOCKING AND FLASHING DOWN TO STRUCTURAL DECK, UNO.
 - REMOVE EXISTING ROOFTOP EQUIPMENT. SECURELY STORE UNITS TO BE RE-INSTALLED. COORDINATE REMOVAL/ REINSTALLATION TIMING WITH OWNER.
 - COORDINATE RE-ROOFING OPERATIONS TO PREVENT WATER INFILTRATION INTO BUILDING DURING CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY WATER DAMAGES TO CONTENTS OF THE BUILDING DURING RE-ROOF OPERATIONS.
 - IF EXISTING STRUCTURAL DECK IS SHOWING SIGNS OF RUST, DAMAGE OR FAILURE, PLEASE NOTIFY ARCHITECT PRIOR TO PROCEEDING.
 - RELOCATE ELECTRICAL CABLING AS NECESSARY WHILE MAINTAINING LIGHTS AND CAMERA OPERATION. COORDINATE WITH OPERATIONS.
- KEYNOTES NOTES**
- DEMOLISH BOTH EXISTING GRAVEL BALLASTED BUILT UP AND MODIFIED ROOFS IN THEIR ENTIRETY. DEMOLISH ALL RELATED BASE FLASHING, FLASHING, COUNTER FLASHING AND APPURTENANCES. PATCH AND REPAIR REMAINING SURFACES FOR ROOF INSTALLATION. TYP.
 - REMOVE EXISTING ROOF HATCH AND CURB SAVE TO BE REPAIRED IF REQUIRED AND REINSTALLED.
 - REMOVE EXISTING ROOF DRAINS. REPAIR ANY DAMAGED DECKING AND PREP FOR NEW DRAINS.
 - REMOVE EXISTING CONDENSATE LINES. PROVIDE TEMPORARY LINE FOR RTU CONDENSATE.
 - EXISTING RTU TO REMAIN.
 - REMOVE ANTENNA UNITS. STORE FOR RE-INSTALLATION.
 - REMOVE EXISTING ROOF LADDER TO BE REPLACED.
 - SMOKE VENTS AND CURBS TO BE REMOVED. THE SMOKE VENTS ARE TO BE REPAIRED IF REQUIRED AND REINSTALLED.
 - FIRE CONNECTION TO REMAIN. REMOVE RUST AND EXISTING PAINT. VERIFY PROPER OPERATION.
 - SECURITY CAMERA TO BE REMOVED AND SAVED FOR RE-INSTALLATION
 - EXISTING ROOF VENT TO REMAIN.
 - ELECTRICAL CONDUIT TO BE TEMPORARILY RE-ROUTED
 - REMOVE EXISTING WALL FLASHING.
 - REMOVE EXISTING PARAPET FLASHING.
 - REMOVE EXISTING GRAVEL STOP AND FASCIA.



ROOF REPLACEMENT
TULSA PERFORMING ARTS CENTER
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1 ROOF DEMOLITION PLAN
 1/16" = 1'-0"
 NORTH

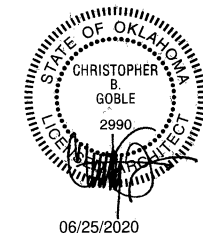
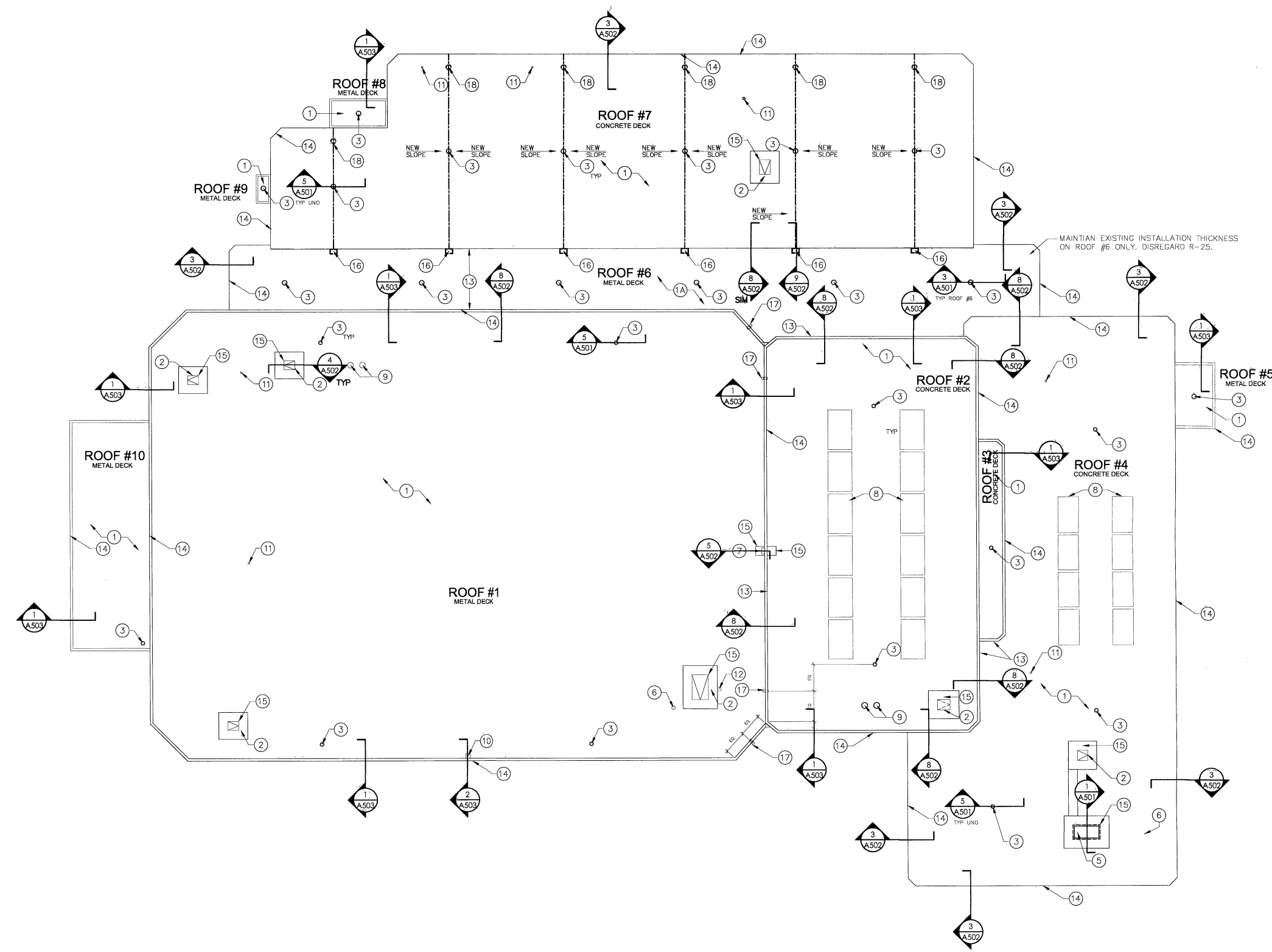
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				1" =	FILE:	DRAWING:	
				ATLAS PAGE NO:			
				SHEET NAME:			
				ROOF DEMOLITION PLAN			

GENERAL NOTES

- COORDINATE RE-ROOFING OPERATIONS TO PREVENT WATER INFILTRATION INTO BUILDING DURING CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY WATER DAMAGES TO CONTENTS OF THE BUILDING DURING RE-ROOF OPERATIONS.
- COORDINATE ANY MECHANICAL FASTENERS WITH ELECTRICAL CONDUIT THAT MAY BE INSTALLED. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR ANY EXISTING ELECTRICAL DAMAGED DURING REROOFING OPERATIONS.
- STAGGER JOINTS BETWEEN LAYERS OF POLYISO INSULATION. NO JOINTS BETWEEN LAYERS SHOULD ALIGN.
- REMOVE ALL GRAVEL FROM ROOF SURFACE. DO NOT INSTALL MEMBRANE OVER ANY LOOSE GRAVEL ON ROOF SURFACE.

KEYNOTES NOTES

- INSTALL FULLY ADHERED 80 MIL TPO ROOFING SYSTEM ON COVER BOARD OVER TAPERED INSULATION AND BASE OF R-25 POLYISO INSULATION. PROVIDE MANUFACTURERS FLASHINGS AND ACCESSORIES FOR COMPLETE INSTALLATION. INSTALL MINIMUM 3" BASE LAYER OF POLYISO UNDER TAPERED AREAS.
- INSTALL 1 1/2" POLYISO INSULATION ON ROOF #6 AS NOT TO INCREASE THE ORIGINAL ELEVATION OF THE ROOF MEMBRANE.
- REPAIR ROOF HATCHES AS REQUIRED FOR PROPER OPERATION. REPAINT HATCHES P2. RAISE 3" W/NEW 2X NAILERS SECURED TO STRUCTURE. EACH ROOF HATCH LADDER TO BE ADJUSTED AT THE REQUIRED HEIGHT AND INSTALL NEW SAFETY POST PER DETAIL 4/A502.
- REPLACE EXISTING DRAINS WITH NEW DRAINS PER 5/A501. USE EXISTING DRAIN LINES.
- ROUTE CONDENSATE DRAINS DIRECTLY DOWN OUT OF THE RTU AND RUN IN PVC PIPE THROUGH STRUCTURE TO NEAREST INTERIOR DRAIN.
- EXISTING RTU TO REMAIN. PROVIDE COUNTER FLASHING FOR NEW ROOF TO CREATE A WATER TIGHT SEAL.
- REINSTALL ANTENNA UNITS. PROVIDE A BOOTED WEATHER HEAD FOR CABLEING ROUTED BELOW ROOF..
- INSTALL NEW ROOF LADDER PER OSHA REQUIREMENTS.
- REPAIR SMOKE VENTS IF REQUIRED AND RE-INSTALL IN ORIGINAL LOCATIONS WITH AN ADDED 3" NAILERS TO RAISE THE UNITS UP 3"
- REMOVE RUST AND OLD PAINT ON EXISTING FIRE CONNECTIONS. RE-PAINT P3.
- RE-INSTALL SECURITY CAMERAS PER OPERATIONS DIRECTIONS. INSTALL BOOTED WEATHER HEAD FOR CABLEING PENETRATIONS. REFER 2/A503
- EXISTING PLUMBING VENTS TO BE BOOTED WITH NEW ROOFING MEMBRANE INSTALLATION. REFER 4/A501
- ALL ELECTRICAL CONDUCTORS ARE TO BE ROUTED BELOW THE ROOF
- NEW WALL FLASHING TO BE INSTALLED AT PRECAST PANELS. REFER ROOFING DETAILS.
- INSTALL PREFINISHED METAL FASCIA
- WALK PADS WELDED TO NEW TPO ROOF. DO NOT INSTALL OVER SEAMS OR CORNER FLASHING.
- 8X8 COLLECTOR INTO 4X4 DOWNSPOUT TO DISCHARGE ONTO CONCRETE SPLASH BLOCK SET ON 30"x96" WALK PAD. REFER DETAIL 7&9/A502.
- INSTALL 8"JOSAM(OR EQUAL) DOWNSPOUT NOZZLE W/FLANGE 4" ABOVE ASSOCIATED PRIMARY DRAIN. REFER 3/A503.
- INSTALL NEW ROOF DRAINS PER DRAIN MANUF. RECOMMENDATIONS. PIPE DRAIN LINES INTO EXISTING ROOF DRAIN SYSTEM. REFER 5/A501



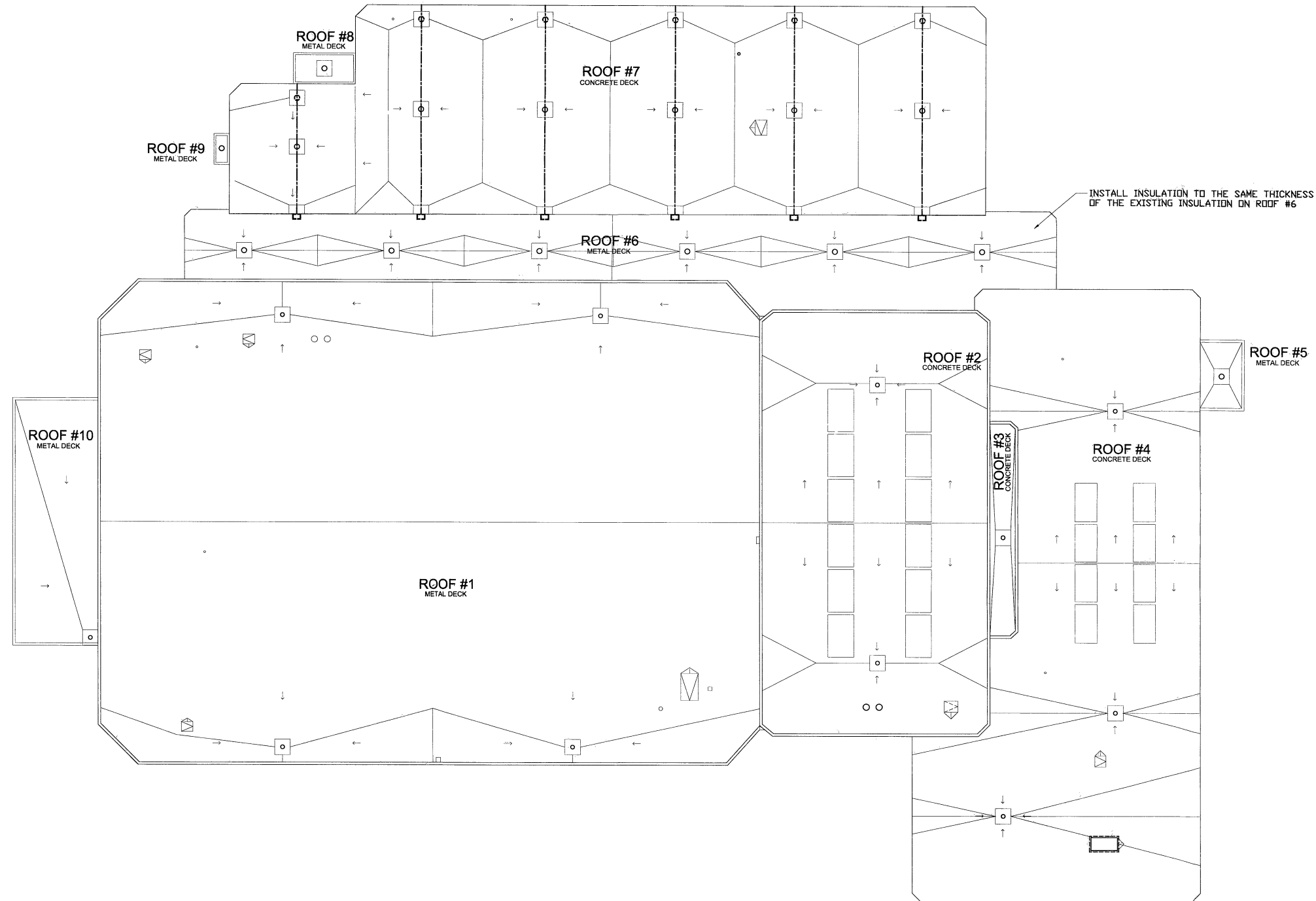
ROOF REPLACEMENT
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1 ROOF PLAN
 1" = 20'-0"

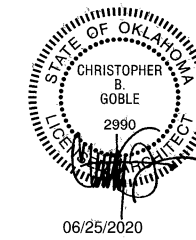


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				ATLAS PAGE NO:			
				SHEET NAME:	ROOF PLAN		

NOTE:
TAPER PATTERN IS DIAGRAMMATIC. GC TO
SUBMIT TAPER PLAN FOR OWNER APPROVAL



1 TAPERED INSULATION
1" = 20'-0"

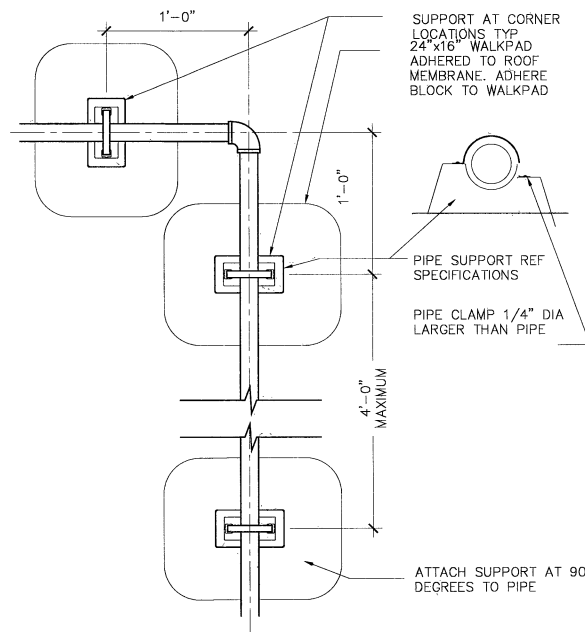


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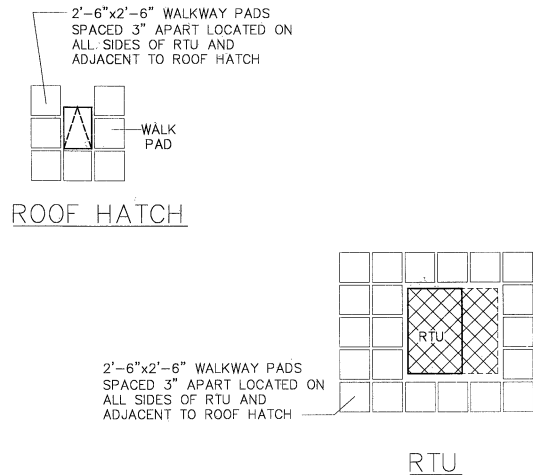
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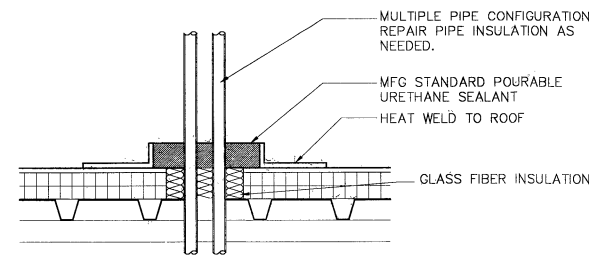


PVC CONDENSATE PIPE

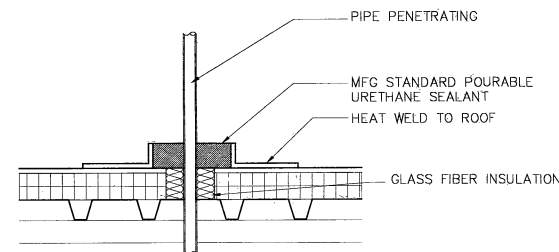
8 PIPING SUPPORT PLAN
1"=1'-0"



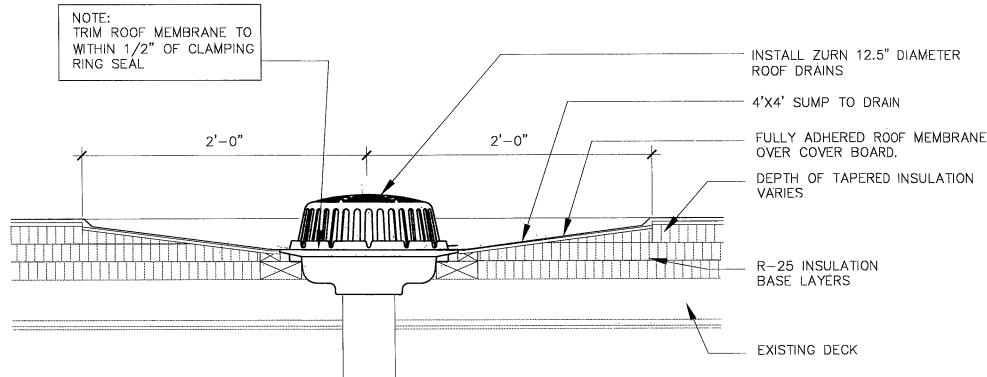
7 PAD LAYOUT
NTS 022802 ALL\10-A041



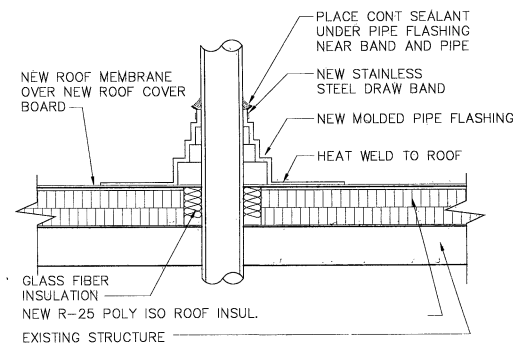
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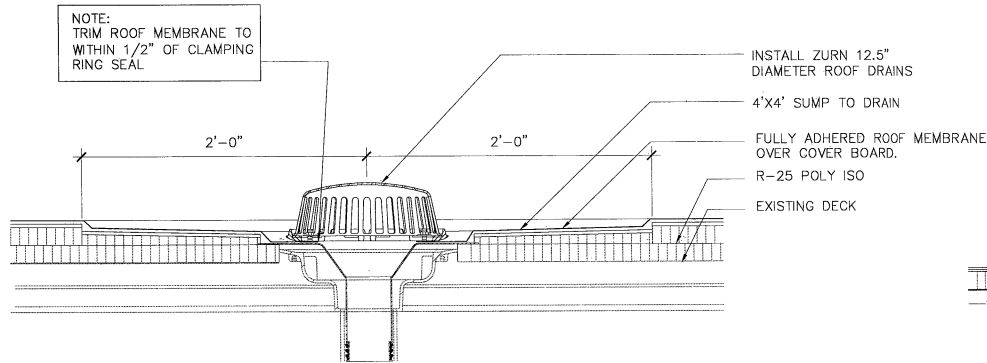
6 PENETRATION
1 1/2"=1'-0"



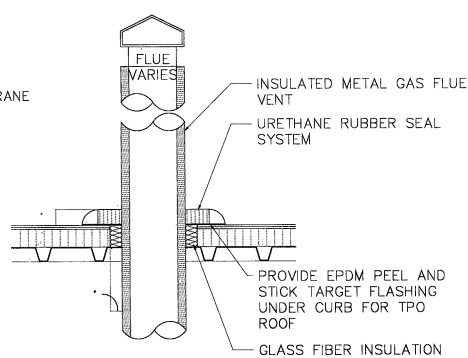
5 ROOF DRAIN DETAIL
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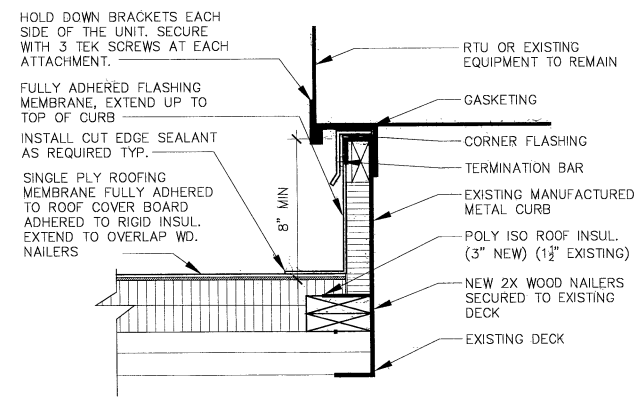
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1 1/2"=1'-0"



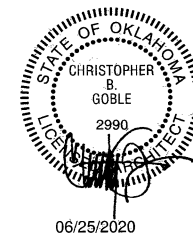
3 ROOF DRAIN DETAIL @ ROOF #6
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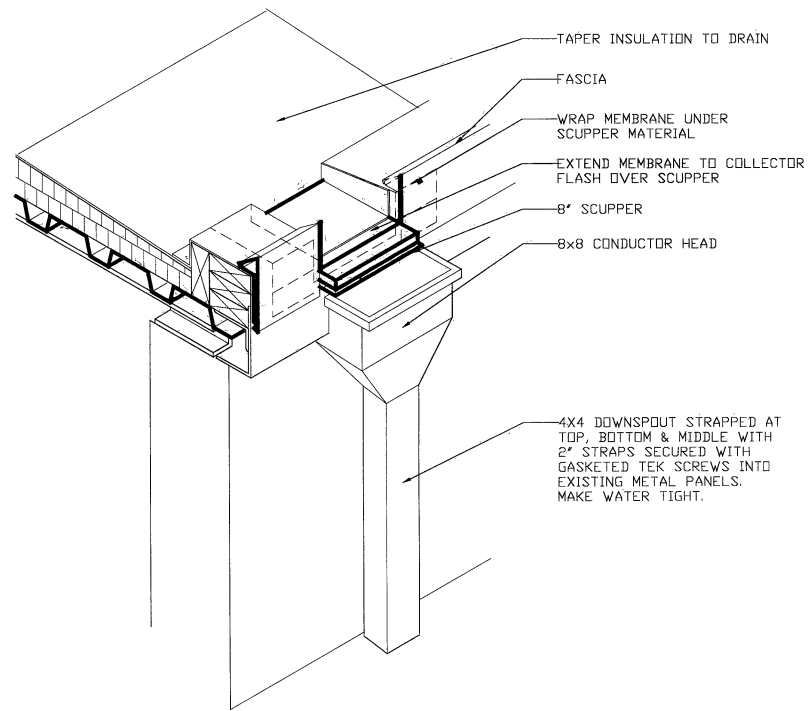
2 FLUE PENETRATION
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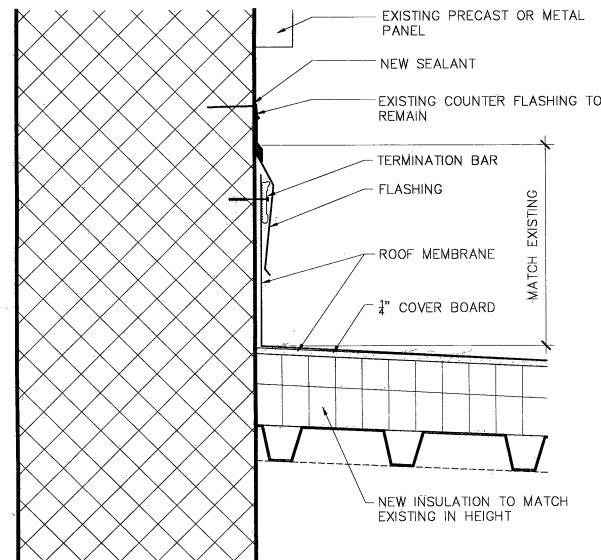
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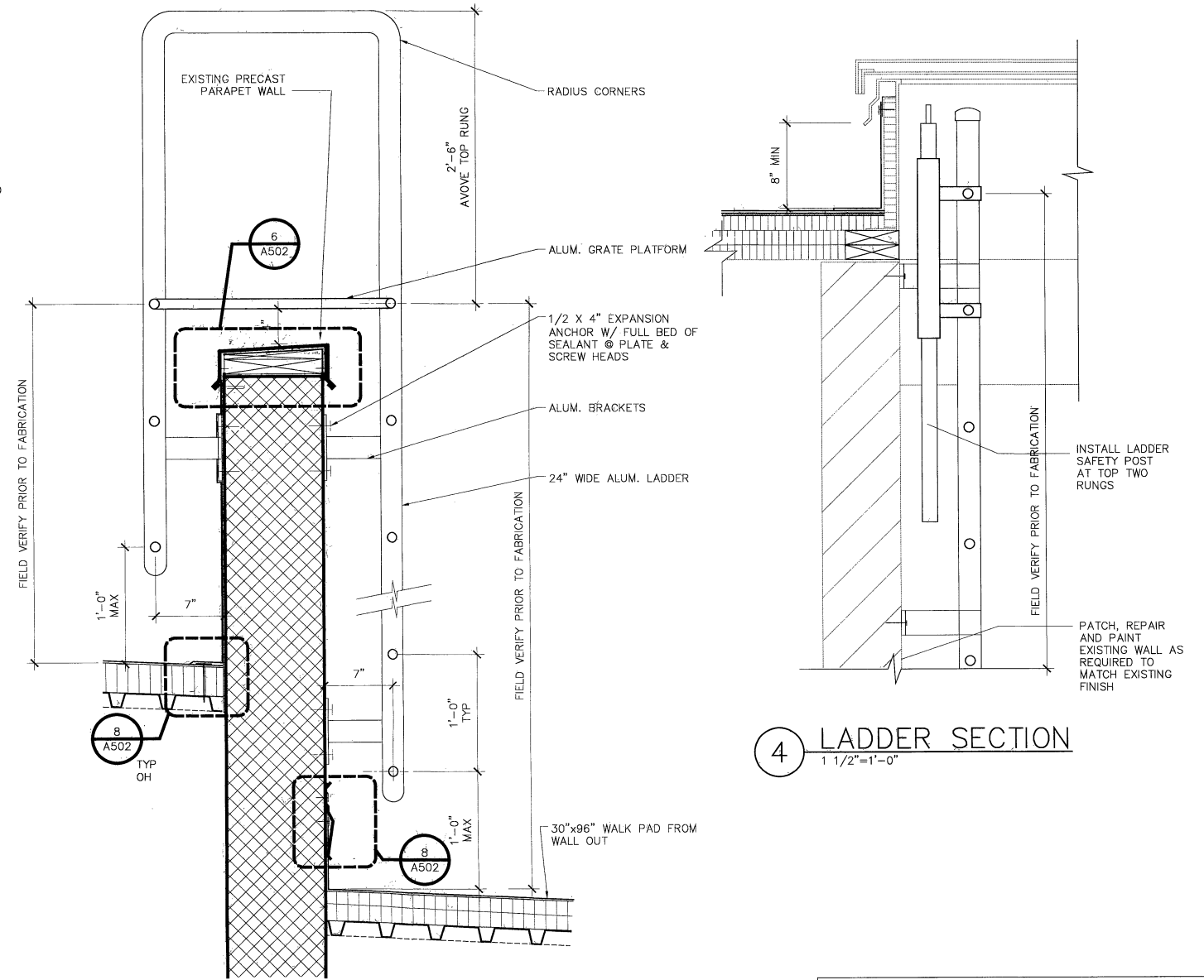
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	SURVEY	N/A	
PROFILE SCALE:	PROJ. MGR.	NW	6/20
1" =	LEAD ENGR.	edm	6/2020
HORIZONTAL:	FIELD MGR.	edm	6/20
1" =	RECOMMENDED:	HHS	6-20
VERTICAL:	DESIGN MANAGER		
1" =	DRAWING:		
FILE:	DRAWING:		
ATLAS PAGE NO:			SHEET 6 OF 8 SHEETS
SHEET NAME:			SHEET NO.
ROOF DETAILS			A501



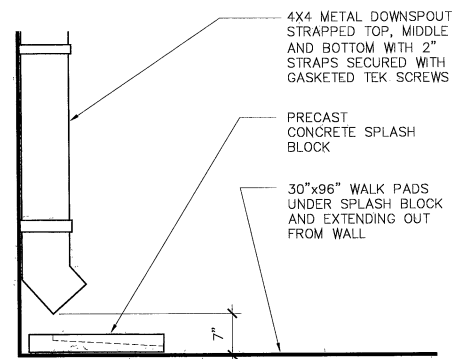
9 SCUPPER ISOMETRIC AT ROOF CURB
1 1/2" = 1'-0"



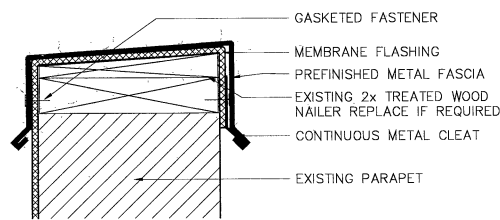
8 FLASHING DETAIL
3" = 1'-0"



4 LADDER SECTION
1 1/2" = 1'-0"

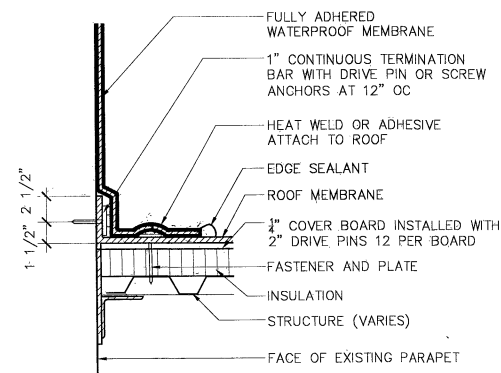


7 DOWNSPOUT SPLASH
3/4" = 1'-0"

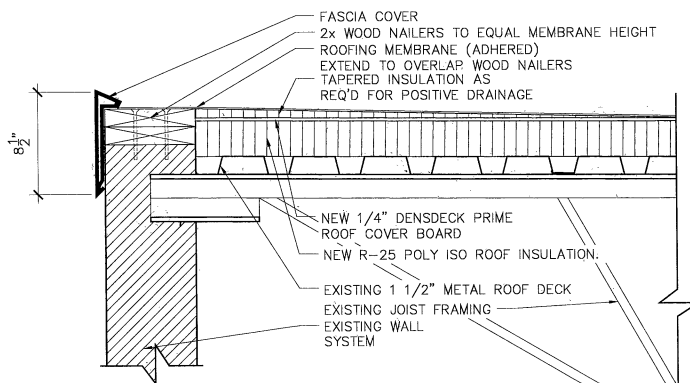


6 PARAPET CAP FLASHING
3" = 1'-0"

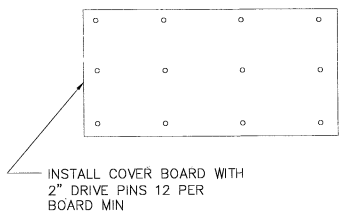
5 PLATFORM LADDER SECTION
1 1/2" = 1'-0"



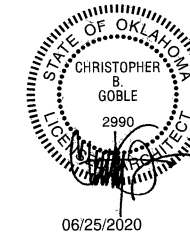
1 FLASHING MEMBRANE
1 1/2" = 1'-0"



3 ROOF EDGE DETAIL
1 1/2" = 1'-0"

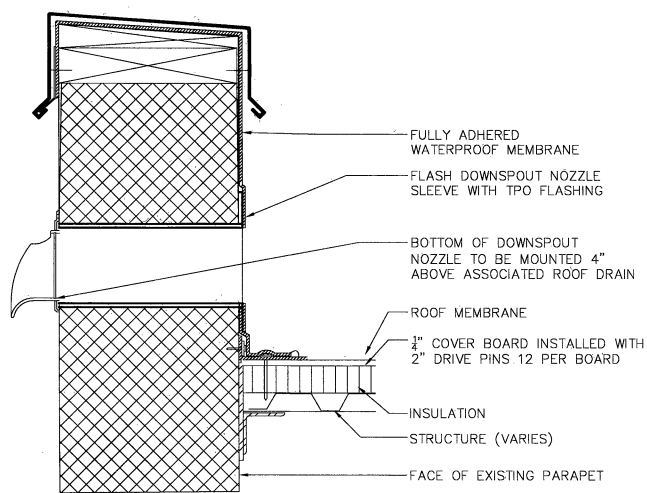


2 COVER BOARD ATTACHEMENT
1 1/2" = 1'-0"

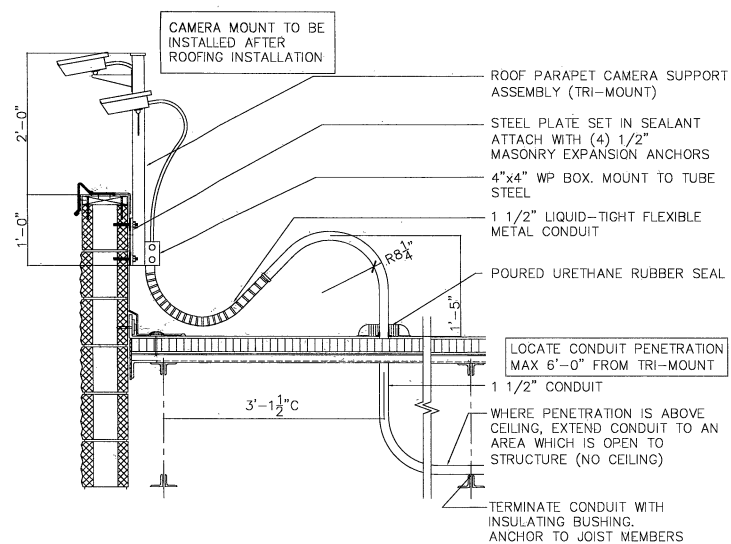


ROOF REPLACEMENT
TULSA PERFORMING ARTS CENTER
PROJECT NO.: 145380
CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT
SGA Design Group, P.C.
Christopher B. Goble, Architect
1437 South Boulder, Suite 500
Tulsa, Oklahoma 74119-3509
P: 918.587.8602
F: 918.587.8601
www.sgadesigngroup.com

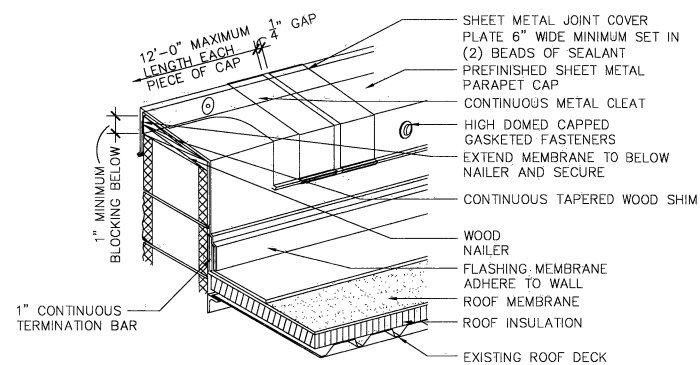
MK	REVISION	BY	DATE	PLAN SCALE:	DRAWN	DATE	APPROVED:
				1" =	edm	6/2020	 CITY ENGINEER
				1" =	edm	6/2020	
				1" =	N/A		
				1" =	PROJ. MGR.	6/20	
				1" =	LEAD ENGR.	6/20	
				1" =	FIELD MGR.	6/20	
				1" =	RECOMMENDED	6/20	
				1" =	DESIGN MANAGER		
				FILE:	DRAWING:		DATE: 6.26.20
				ATLAS PAGE NO:			SHEET 7 OF 8 SHEETS
				SHEET NAME:			SHEET NO. A502



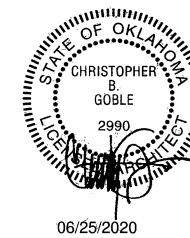
3 OVERFLOW SCUPPER DETAIL
1 1/2"=1'-0"



2 TRI-MOUNT CAMERA SUPPORT ASSEMBLY
3/4"=1'-0" 102502 ALL\09-A041



1 PARAPET CAP FLASHING



ROOF REPLACEMENT TULSA PERFORMING ARTS CENTER	
PROJECT NO.:145380	
CITY OF TULSA, OKLAHOMA ENGINEERING SERVICES DEPARTMENT	
SGA Design Group, P.C. <small>Christopher B. Goble, Architect 1437 South Boulder, Suite 200 Tulsa, Oklahoma 74119, 3609 P: 918.587.8600 F: 918.587.8601 www.sgadesigngroup.com</small>	
MK	REVISION BY DATE
PLAN SCALE:	DRAWN edm 6/2020
1" =	DESIGNED edm 6/2020
	SURVEY N/A
PROFILE SCALE:	PROJ. MGR. <i>MJ</i> 6/20
1" =	LEAD ENGR. <i>edm</i> 6/20
HORIZONTAL:	FIELD MGR. <i>edm</i> 6/20
1" =	RECOMMENDED: <i>edm</i> 6/20
VERTICAL:	DESIGN MANAGER
1" =	
FILE:	DRAWING:
ATLAS PAGE NO:	DATE: 6.26.20
SHEET NAME:	SHEET 8 OF 8 SHEETS
ROOF DETAILS	SHEET NO. A503